

TOWN OF PLATTEVILLE, COLORADO
NOTICE AND AGENDA OF REGULAR MEETING

NOTICE OF REGULAR MEETING of the Platteville Board of Trustees will be held on
Tuesday, July 16th, 2024, at 7:00 pm at 400 Grand Avenue, Platteville, CO.

1. CALL TO ORDER
2. MOMENT OF SILENCE
3. PLEDGE OF ALLEGIANCE
4. ROLL CALL

Mayor: Mike Cowper
Mayor Pro-Tem: Nick Ralston
Trustees: Larry Clark, Larry Hatcher, Hope Morris, Mike Evans, Steve Nelson
Staff Present: Troy Renken, Town Manager; Danette Schlegel, Town Clerk/Treasurer; David Brand,
Public Works Director; Chief Dwyer; Janet Torres, Rec./Seniors

5. APPROVAL OF THE AGENDA

6. AUDIENCE PARTICIPATION (*Public Comment Items not on the agenda*)

Trustees welcome you here and thank you for your time and concerns. If you wish to address the Board of Trustees, this is the time set on the agenda for you to do so. When you are recognized, please step to the podium, state your name and address, then address the Trustees. Your comments will be limited to three (3) minutes. Board Members may not respond to your comments this evening, rather they may take your comments and suggestions under advisement and your questions may be directed to the appropriate staff person for follow-up. Thank you!

7. APPROVAL OF THE CONSENT AGENDA

The Consent Agenda contains items that can be approved without discussion. Any Board Member may request removal of any item they do not want to consider without discussion or wish to vote no on, without jeopardizing the approval of other items on the Consent Agenda. Items removed from Consent will be placed under Action Items in the order they appear on the agenda. (This should be done prior to the motion to approve the agenda.)

8. ACTION ITEMS

- A. Resolution 2024-15 A RESOLUTION ACCEPTING THE PETITION FOR ANNEXATION AND ESTABLISHING SEPTEMBER 3, 2024 AS THE DATE OF PUBLIC HEARING ON THE REQUESTED ANNEXATION OF A PARCEL OF UNINCORPORATED TERRITORY LOCATED IN THE COUNTY OF WELD, KNOWN AS THE PLATTE VIEW ANNEXATION
- B. Resolution 2024-16 A RESOLUTION OF THE BOARD OF TRUSTEES OF THE TOWN OF PLATTEVILLE APPROVING THE FINAL DEVELOPMENT PLAN FOR THE WEST FARM PROPERTY (LG EVERIST)
- C. WWTF Digester Blower Purchase

9. Liquor Authority

No Items

10. Platteville Foundation

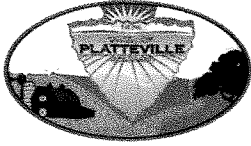
No Items

11. REPORTS

- A. Senior/Recreation
- B. Police
- C. Public Works
- D. Town Manager
- E. Mayor

12. ADJOURNMENT

Town of Platteville, Colorado
400 Grand Avenue, 80651



Agenda Item Cover Sheet

MEETING DATE: July 16, 2024
AGENDA ITEM: Consent Agenda Items
➤ June 18, 2024 Meeting Minutes
➤ June Paid Bills
➤ June Financials

DEPARTMENT: Legislative

PRESENTED BY: Troy Renken, Town Manager

SUMMARY

The previous meeting minutes from June 18, 2024 along with the June paid bills and financial statements' are presented for review and approval.

FINANCIAL CONSIDERATIONS

Paid bills and financial statements in accordance with the adopted budget.

RECOMMENDED ACTION

Move to approve the Consent Agenda as presented and for the Mayor to execute all documents.

ATTACHMENTS

June 18, 2024 Meeting Minutes
June Paid Bills
June Financials

TOWN OF PLATTEVILLE, COLORADO
BOARD OF TRUSTEES MEETING MINUTES
Regular meeting of the Platteville Board of Trustees will be held on
Tuesday, June 18, 2024, at 400 Grand Avenue, Platteville, CO.
Mayor Cowper called the meeting to order at 7:00 pm

CALL TO ORDER

MOMENT OF SILENCE

PLEDGE OF ALLEGIANCE

ROLL CALL

Mayor: Mayor Cowper
Mayor Pro Tem: Nick Ralston
Trustees: Larry Clark, Steve Nelson, Miko Rios, Larry Hatcher, Mike Evans,
Hope Morris
Absent:
Staff Present: Troy Renken, Town Manager; Danette Schlegel, Town Clerk/Treasurer;
Naomi Nguyen, Library Director.

APPROVAL OF THE AGENDA

Trustee Morris moved to approve the agenda as amended. Mayor Pro Tem Ralston seconded the motion. All members are in favor.

AUDIENCE PARTICIPATION (*Public Comment Items not on the agenda*)

None

APPROVAL OF THE CONSENT AGENDA

Mayor Pro Tem Ralston moved to approve the consent agenda as presented. Trustee Morris seconded the motion. All members are in favor.

ACTION ITEMS

Intergovernmental Agreement with Weld County School District RE 1 Regarding School Resource Officers Service

The Town of Platteville has provided the Weld RE1 School District with two School Resource Officers since the 2016-2017 school year and the district is requesting to continue this service through the 2024-2025 school year. Mayor Pro Tem Ralston moved to approve the Intergovernmental Agreement between the Weld County School District RE-1 Town of Platteville for School Resource Officer Services for the 2024-2025 school year. Trustee Morris seconded the motion. All members in favor.

Resolution 2024-14 Budget Amendment

Manager Renken explained the reason for the budget amendment. Mayor Pro Tem Ralston moved to approve **A RESOLUTION OF THE BOARD OF TRUSTEES OF THE TOWN OF PLATTEVILLE AMENDING THE TOWN'S 2023 BUDGET**. Trustee Morris seconded the motion. All members in favor.

Housing Occupation Limits Ordinance and Memo

Manager Renken explained that this ordinance will amend the Town Code regarding residential occupancy limits based upon new legislation. Trustee Morris moved to approve Ordinance 2024-836, AN ORDINANCE OF THE BOARD OF TRUSTEES OF THE TOWN OF PLATTEVILLE AMENDING THE DEFINITION OF FAMILY IN SECTION 16-7-10 OF THE PLATTEVILLE MUNICIPAL CODE. Trustee Clark seconded the motion. 5 members approved and 1 member (Mayor Pro-tem Ralston) opposed.

Veterans Memorial DOLA Grant Application

The Veteran's memorial committee is pursuing the completion of the second phase of the memorial. Mayor Pro Tem Ralston moved to approve the completion of the second phase of the Veterans Memorial. Trustee Hatcher seconded the motion. 5 members approved and 1 member opposed.

May Financial Statements and Paid Bills

Manager Renken summarized the May monthly paid bills and financial statements. Trustee Morris moved to approve the monthly paid bills and financial statements for May 2024. Mayor Pro Tem Ralston seconded the motion. All members in favor.

Baker Construction Potential Annexation

Discussion and presentation regarding the potential annexation.

Reports

Library

Seniors/Rec (written only)

Police (written only)

Public Works (written only)

Town Manager

Mayor

ADJOURNMENT

Having no further business before the Board, the meeting adjourned at 8:35 P.M.

Attest: Danette Schlegel, Town Clerk / Treasurer

Mike Cowper, Mayor

Report Criteria:
Summary report type printed

Name	Invoice Number	Description	Invoice Date	Invoice Amount	Check Amount	Check Number	Check Issue Date
Amazon	202406	Citizen Advisory Committe	06/01/2024	2,863.76	2,863.76	24062801	06/28/2024
Total 10:				2,863.76	2,863.76		
A-1 Chipseal Co	13780	Chip Seal	06/03/2024	432,242.44	432,242.44	61638	06/28/2024
Total 12:				432,242.44	432,242.44		
Bumble Bee Parking Lot St	2420	Streets - Condition M&R	06/01/2024	710.00	710.00	61555	06/07/2024
Total 18:				710.00	710.00		
Golf & Sports Solutions LL	47485	REC - Chalk	06/01/2024	70.00	70.00	61568	06/07/2024
Total 23:				70.00	70.00		
Green & Associates LLC	3090	Accounting Services	06/01/2024	2,750.00	2,750.00	61569	06/07/2024
Total 24:				2,750.00	2,750.00		
Draya's Cleaning Service	314	Janitorial Services	06/01/2024	1,190.00	1,190.00	61566	06/07/2024
	315	Janitorial Services	06/16/2024	1,060.00	1,060.00	61626	06/21/2024
Total 29:				2,250.00	2,250.00		
Michael D Stewart	202406	Judicial Services	06/01/2024	600.00	600.00	61573	06/07/2024
Total 33:				600.00	600.00		
Veronica Chavez	16704	Janitorial Services	06/10/2024	475.00	475.00	61666	06/28/2024
Total 37:				475.00	475.00		
ATMOS Energy	202406-1	703 Birch St - Utilities	06/15/2024	39.68	39.68	61640	06/28/2024
	202406-2	400 Grand Ave Shop - Utilit	06/15/2024	34.09	34.09	61640	06/28/2024
	202406-3	400 Grand Ave - Utilities	06/15/2024	50.64	50.64	61640	06/28/2024
	202406-4	502 Marion Ave - Utilities	06/15/2024	39.48	39.48	61640	06/28/2024
	202406-5	1403 Main St - Utilities	06/15/2024	41.25	41.25	61640	06/28/2024
	202406-6	508 Reynolds Ave - Utilities	06/15/2024	79.09	79.09	61640	06/28/2024
	202406-7	504 Marion Ave - Utilities	06/15/2024	53.81	53.81	61640	06/28/2024
	202406-8	11866 County Rd 32.5 - Uti	06/15/2024	68.94	68.94	61640	06/28/2024
Total 46:				406.98	406.98		
Bratton's Office Equipment	78915	NAN - Copier	06/05/2024	26.71	26.71	61642	06/28/2024
	78916	PLA - Copier	06/05/2024	26.48	26.48	61642	06/28/2024
Total 50:				53.19	53.19		
Caselle Inc	133291	Contract Support and Main	06/01/2024	1,487.00	1,487.00	61597	06/14/2024
Total 59:				1,487.00	1,487.00		
Cengage Learning Inc	84395334	Large Print - PLA	06/01/2024	72.75	72.75	61643	06/28/2024

Name	Invoice Number	Description	Invoice Date	Invoice Amount	Check Amount	Check Number	Check Issue Date
	84469968	Large Print - PLA	06/06/2024	92.22	92.22	61643	06/28/2024
Total 61:				164.97	164.97		
Central Weld County Water	20240601	Water - 100 Division	06/01/2024	23.12	23.12	61556	06/07/2024
	20240602	Treated Water Usage	06/01/2024	49,329.39	49,329.39	61556	06/07/2024
	60724	Permit Fees	06/07/2024	50.00	50.00	61598	06/14/2024
Total 65:				49,402.51	49,402.51		
CenturyLink	202406-1	766B 50%	06/01/2024	138.35	138.35	61557	06/07/2024
	202406-2	605B	06/01/2024	215.04	215.04	61557	06/07/2024
	202406-3	693B	06/01/2024	63.03	63.03	61557	06/07/2024
	202406-4	076B	06/01/2024	80.22	80.22	61557	06/07/2024
	202406-5	808B	06/01/2024	203.73	203.73	61557	06/07/2024
Total 66:				700.37	700.37		
CenturyLink QCC	688864176	Telephone - 50%	06/01/2024	6.27	6.27	61558	06/07/2024
Total 67:				6.27	6.27		
Chase Ink	2024-6	Citizen Advisory Committe	06/01/2024	10,417.07	10,417.07	24062803	06/28/2024
Total 68:				10,417.07	10,417.07		
CivicPlus	303269	Website Maintenance	06/01/2024	81.47	81.47	61560	06/07/2024
Total 74:				81.47	81.47		
CIRSA	W24444	2023 WC Payroll Audit	06/01/2024	9,515.00	9,515.00	61559	06/07/2024
	W24488	Insurance Wokmans Comp	06/13/2024	498.49	498.49	61599	06/14/2024
Total 76:				10,013.49	10,013.49		
Mike's Automotive Service	2300	Vehicle Maint- PD	06/04/2024	366.36	366.36	61574	06/07/2024
Total 78:				366.36	366.36		
SAFEbuilt LLC	409853	Building Permits	06/01/2024	4,375.94	4,375.94	61616	06/14/2024
Total 79:				4,375.94	4,375.94		
Utility Notification Center of	224051155	Sewer Locates 50%	06/01/2024	51.60	51.60	61588	06/07/2024
Total 80:				51.60	51.60		
Connecting Point	CW142192	IT Services	06/01/2024	1,401.05	1,401.05	24060702	06/07/2024
	CW142302	IT Services	06/11/2024	3,015.91	3,015.91	24062102	06/21/2024
	CW142306	Admin - Computer Consulti	06/14/2024	35.00	35.00	24062102	06/21/2024
	CW142377	Admin - Computer Consulti	06/21/2024	7,439.46	7,439.46	24062804	06/28/2024
Total 82:				11,891.42	11,891.42		
Home Depot Credit Service	202406	Museum - Supplies	06/01/2024	722.61	722.61	24060703	06/07/2024

Name	Invoice Number	Description	Invoice Date	Invoice Amount	Check Amount	Check Number	Check Issue Date
Total 83:				722.61	722.61		
Service Uniform Rental	509479	B&G 12.88%	06/01/2024	80.29	80.29	61583	06/07/2024
	511785	B&G 12.88%	06/01/2024	80.29	80.29	61583	06/07/2024
	514090	B&G 12.88%	06/01/2024	80.29	80.29	61583	06/07/2024
	516400	B&G 12.88%	06/01/2024	98.25	98.25	61583	06/07/2024
	518717	B&G 12.88%	06/01/2024	69.02	69.02	61583	06/07/2024
Total 84:				408.14	408.14		
Sam's Club/Synchrony Ban	202406	Arbor Day Event	06/01/2024	248.81	248.81	24060704	06/07/2024
Total 85:				248.81	248.81		
LaSalle Oil Company	189935	PW - Fuel	06/07/2024	974.70	974.70	61605	06/14/2024
	190391	Fuel- PW	06/24/2024	262.55	262.55	61655	06/28/2024
	190424	Fuel- PW	06/25/2024	566.50	566.50	61655	06/28/2024
Total 87:				1,803.75	1,803.75		
Northern Engineering Servi	1135-008/000	Vasquez Sewer	06/01/2024	2,625.00	2,625.00	61609	06/14/2024
	1135-009/000	Cemetery - East Side Desi	06/01/2024	1,600.00	1,600.00	61609	06/14/2024
	1135-011/000	Sidewalks	06/01/2024	1,300.00	1,300.00	61609	06/14/2024
	1135-012/000	Topographic Survey/Line L	06/01/2024	2,562.50	2,562.50	61658	06/28/2024
	1135-012/000	Topographic Survey/Engin	06/01/2024	4,812.50	4,812.50	61658	06/28/2024
	1135-924/000	TFP Nutrition - Billback	06/01/2024	3,745.00	3,745.00	61609	06/14/2024
Total 88:				16,645.00	16,645.00		
Platteville/Gilcrest Fire Prot	202406	Impact Fee - 112 Melody L	06/01/2024	2,266.00	2,266.00	61577	06/07/2024
	301	CPR/AED Training	06/10/2024	35.00	35.00	61611	06/14/2024
Total 89:				2,301.00	2,301.00		
Spok Inc	H0385061R	Sewer - Pager (50%)	06/01/2024	10.00	10.00	61617	06/14/2024
Total 99:				10.00	10.00		
Purchase Power	202406	Postage & Supploes	06/01/2024	646.77	646.77	24062806	06/28/2024
Total 100:				646.77	646.77		
WEX Bank	97423818	PD - Fuel	06/01/2024	3,107.76	3,107.76	24060706	06/07/2024
Total 103:				3,107.76	3,107.76		
Hoffmann Parker Wilson &	202406	Legislative/Executive	06/01/2024	990.00	990.00	61603	06/14/2024
Total 107:				990.00	990.00		
NAPA Auto Parts	919910	Sewer - Vehicle M&R	06/01/2024	16.99	16.99	61608	06/14/2024
	920070	Parks - M&R Vehicles	06/01/2024	5.30-	5.30-	61608	06/14/2024
	922895	Streets - Equipment Mainte	06/01/2024	61.43	61.43	61608	06/14/2024
	923430	Sewer - Vehicle M&R	06/01/2024	84.44	84.44	61608	06/14/2024
	924084	REC - Vehicle Oil Filter	06/01/2024	10.07	10.07	61608	06/14/2024

Name	Invoice Number	Description	Invoice Date	Invoice Amount	Check Amount	Check Number	Check Issue Date
Total 109:				167.63	167.63		
Town of Gilcrest	202406	Library - Utilities	06/01/2024	132.42	132.42	61663	06/28/2024
Total 111:				132.42	132.42		
DBC Irrigation Supply	S5452749.00	Parks - Ground Mainten	06/01/2024	182.48	182.48	61565	06/07/2024
	S5461842.00	Parks - Ground Mainten	06/01/2024	514.10	514.10	61565	06/07/2024
	S5461842.00	Parks - Ground Mainten	06/01/2024	417.03	417.03	61602	06/14/2024
	S5485101.00	Parks - Ground Mainten	06/04/2024	437.80	437.80	61602	06/14/2024
	S5491464.00	Parks - Ground Mainten	06/06/2024	1,398.48	1,398.48	61602	06/14/2024
Total 112:				2,949.89	2,949.89		
Agfinity Inc	H82390	Streets - Weed Control	06/13/2024	664.50	664.50	61621	06/21/2024
Total 114:				664.50	664.50		
Kendrick Consulting Inc	787	General Planning	06/03/2024	1,060.00	1,060.00	61571	06/07/2024
Total 116:				1,060.00	1,060.00		
Xcel Energy	877901459	Rock Lot	06/01/2024	39.33	39.33	24061402	06/14/2024
	877909412	100 N Division Pump	06/01/2024	13.24	13.24	24061402	06/14/2024
	877924386	WWTF	06/01/2024	3,415.45	3,415.45	24061402	06/14/2024
	878254018	Internet & Sign	06/01/2024	189.88	189.88	24061402	06/14/2024
	879799721	Street Lights	06/03/2024	3,604.11	3,604.11	24062808	06/28/2024
	879800482	Sprinklers	06/03/2024	3.57	3.57	24062808	06/28/2024
	881257394	NAN Library	06/11/2024	19.60	19.60	24062808	06/28/2024
Total 121:				7,285.18	7,285.18		
Wickham Tractor Co	IE22180	Streets - Equipment M&R	06/01/2024	74.22	74.22	61591	06/07/2024
	IE22205	Streets - Equipment M&R	06/05/2024	303.27	303.27	61634	06/21/2024
	IE22296	Streets - Equipment M&R	06/18/2024	8.03	8.03	61634	06/21/2024
Total 127:				385.52	385.52		
Verizon	9963772662	Police	05/10/2024	880.61	880.61	24060705	06/07/2024
	9963772663	Sewer	05/10/2024	477.49	477.49	24060705	06/07/2024
	9963772664	B&G	05/10/2024	687.45	687.45	24060705	06/07/2024
	9966268677	Police	06/10/2024	848.01	848.01	24062807	06/28/2024
	9966268678	Sewer	06/10/2024	477.49	477.49	24062807	06/28/2024
	9966268679	B&G	06/10/2024	687.45	687.45	24062807	06/28/2024
Total 128:				4,058.50	4,058.50		
Colorado Analytical Labora	240523004	Sewer - Testing	06/01/2024	119.70	119.70	61561	06/07/2024
	240530010	Sewer Testing	06/05/2024	119.70	119.70	61600	06/14/2024
	24060122	Sewer - Testing	06/14/2024	344.70	344.70	61623	06/21/2024
	240613003	Sewer - Testing	06/19/2024	119.70	119.70	61623	06/21/2024
	240613017	Sewer - Testing	06/20/2024	107.10	107.10	61644	06/28/2024
Total 132:				810.90	810.90		
Coren Printing Inc	33637	PD - Notary Stamp	06/01/2024	47.50	47.50	61601	06/14/2024

Name	Invoice Number	Description	Invoice Date	Invoice Amount	Check Amount	Check Number	Check Issue Date
Total 135:				47.50	47.50		
Weld County Dept of Public	E240270	Water - Testing	06/01/2024	129.60	129.60	61589	06/07/2024
	E240315	Water - Testing	06/20/2024	129.60	129.60	61668	06/28/2024
Total 136:				259.20	259.20		
Revelation Steel LLC	335780	Streets - Equipment Mainte	06/01/2024	20.24	20.24	61581	06/07/2024
	337267	Water - Equipment M&R	06/05/2024	385.99	385.99	61614	06/14/2024
	337343	Streets - Equipment Mainte	06/07/2024	92.17	92.17	61614	06/14/2024
Total 137:				498.40	498.40		
Ameriflex	4449008	Flex Claims Activity	06/01/2024	126.04	126.04	24060701	06/07/2024
	4452405	Flex Claims Activity	06/07/2024	645.78	645.78	24061401	06/14/2024
	4458877	Flex Claims Activity	06/14/2024	158.30	158.30	24062101	06/21/2024
	4462075	Flex Claims Activity	06/21/2024	50.91	50.91	24062802	06/28/2024
	INV739654	Admin Fees	06/04/2024	60.00	60.00	24061401	06/14/2024
Total 138:				1,041.03	1,041.03		
Redi Services LLC	97019	Cemetery - Sanitation	06/01/2024	200.00	200.00	61580	06/07/2024
	97020	Riverview Park - Sanitation	06/01/2024	200.00	200.00	61580	06/07/2024
	97021	Lincoln Park - Sanitation	06/01/2024	200.00	200.00	61580	06/07/2024
Total 139:				600.00	600.00		
High Plains Library District	634	PLA - Circulation	06/15/2024	825.67	825.67	61653	06/28/2024
Total 153:				825.67	825.67		
Rock Solid Landscapes Inc	51685	Cemetery	06/01/2024	9,881.21	9,881.21	61582	06/07/2024
Total 163:				9,881.21	9,881.21		
Falcon Environmental Corp	10695	Sewer - Equipment M&R	06/01/2024	167.68	167.68	61567	06/07/2024
Total 177:				167.68	167.68		
Robert Troy Renken	202406	Mileage	06/05/2024	327.89	327.89	61593	06/11/2024
Total 182:				327.89	327.89		
Core & Main LP	V002934	Water - System Maintenan	06/03/2024	107.36	107.36	61563	06/07/2024
	V069124	Water - System Maintenan	06/14/2024	1,896.14	1,896.14	61624	06/21/2024
Total 193:				2,003.50	2,003.50		
St. Vrain Companies Inc	715212	Water - System Maintenan	06/18/2024	5,500.00	5,500.00	61633	06/21/2024
	715214	Asphalt Patching	06/24/2024	6,300.00	6,300.00	61662	06/28/2024
Total 201:				11,800.00	11,800.00		
Warehouse Supply Inc.	71744	PW - Supplies	06/24/2024	52.47	52.47	61667	06/28/2024

Name	Invoice Number	Description	Invoice Date	Invoice Amount	Check Amount	Check Number	Check Issue Date
Total 216:				52.47	52.47		
My Office Etc. Inc.	303609-0	PLA - Supplies	06/17/2024	31.42	31.42	61656	06/28/2024
	303609-1	PLA - Supplies	06/19/2024	65.02	65.02	61656	06/28/2024
Total 229:				96.44	96.44		
SouthWest Disposal	0114083-IN	Cemetery - Sanitation	06/18/2024	554.00	554.00	61632	06/21/2024
	0114094-IN	Parks - Sanitation	06/18/2024	886.50	886.50	61632	06/21/2024
Total 235:				1,440.50	1,440.50		
Grainger	9096741393	Sewer - Equipment Maint &	06/01/2024	219.12	219.12	61628	06/21/2024
	9152322583	Sewer - Equipment Maint &	06/14/2024	105.62	105.62	61650	06/28/2024
Total 247:				324.74	324.74		
United Ready Mix LLC	TOW400	Water - System M&R	06/01/2024	1,710.28	1,710.28	61586	06/07/2024
Total 306:				1,710.28	1,710.28		
Valley Fire Extinguisher Inc	162393	PD - Inspections	06/24/2024	195.00	195.00	61664	06/28/2024
	162394	B&G - Inspection	06/24/2024	1,264.00	1,264.00	61664	06/28/2024
Total 312:				1,459.00	1,459.00		
Northern Colorado Constru	24-1066-01	Water Leak - Cherry Avenu	06/01/2024	5,327.80	5,327.80	61657	06/28/2024
Total 327:				5,327.80	5,327.80		
Colorado Rural Water Asso	2892	Sewer - Travel/Training/Me	06/01/2024	20.00	20.00	61645	06/28/2024
Total 328:				20.00	20.00		
Miscellaneous Vendor	16708	Reimbursement for Tuition	06/10/2024	4,076.82	4,076.82	61651	06/28/2024
	202406	Reimbursement	06/01/2024	19.96	19.96	61592	06/07/2024
	20240606	VIN Cert Reimbursement	06/06/2024	20.00	20.00	61629	06/21/2024
	20240610	Benches	06/10/2024	2,500.00	2,500.00	61595	06/14/2024
	20240611	Seniors Delightful Detour T	06/11/2024	560.00	560.00	61610	06/14/2024
	24-327	PD - Vehicle M&R	06/01/2024	273.00	273.00	61620	06/21/2024
	3923171942	REC - All Sports Celebratio	06/26/2024	650.00	650.00	61648	06/28/2024
	4118-1-1240	Library - Piano Tuning	06/10/2024	100.00	100.00	61669	06/28/2024
	459654	Mowing	06/17/2024	450.00	450.00	61627	06/21/2024
	FFP1917	Parks - Supplies	06/01/2024	309.96	309.96	61578	06/07/2024
Total 385:				8,959.74	8,959.74		
WT Cox Information Servic	3135841	PLA Library - Periodicals/S	06/01/2024	349.38	349.38	61670	06/28/2024
	3137055	NAN Library - Subscription	06/01/2024	207.06	207.06	61670	06/28/2024
Total 387:				556.44	556.44		
A Grand Self Storage	37052	Library - Storage Unit	06/01/2024	65.00	65.00	61637	06/28/2024
Total 393:				65.00	65.00		

Name	Invoice Number	Description	Invoice Date	Invoice Amount	Check Amount	Check Number	Check Issue Date
Rocky Mountain Wildlife Se	24114	Health & Welfare - Pest Ab	06/01/2024	1,555.88	1,555.88	61615	06/14/2024
Total 402:				1,555.88	1,555.88		
Applied Concepts Inc.	440049	Equipment Maintenance	06/19/2024	65.00	65.00	61639	06/28/2024
Total 425:				65.00	65.00		
Prairie Mountain Media	386990	Notice of Public Hearing	06/01/2024	63.36	63.36	61613	06/14/2024
Total 443:				63.36	63.36		
Blackstone Publishing	2155457	Audiobooks	06/01/2024	90.38	90.38	61641	06/28/2024
	2157070	Audiobooks	06/05/2024	225.71	225.71	61641	06/28/2024
	2157935	Audiobooks	06/11/2024	36.00	36.00	61641	06/28/2024
	2158512	Audiobooks	06/13/2024	28.00	28.00	61641	06/28/2024
Total 453:				380.09	380.09		
Tru-Bilt Trailers	46082	Streets - Equipment Mainte	06/07/2024	126.18	126.18	61618	06/14/2024
Total 460:				126.18	126.18		
SinglePoint LLC	16563012	Copier Leases	06/01/2024	157.79	157.79	61584	06/07/2024
	16563013	Copier Leases	06/01/2024	2,207.13	2,207.13	61584	06/07/2024
	16712058	Copier Leases	06/20/2024	157.79	157.79	61661	06/28/2024
	16712059	Copier Leases	06/20/2024	1,073.83	1,073.83	61661	06/28/2024
Total 495:				3,596.54	3,596.54		
Mountain Constructors Inc	224-0766-RE	Sounth Front Street - Tailw	06/01/2024	4,171.52	4,171.52	61575	06/07/2024
Total 538:				4,171.52	4,171.52		
Ausmus Law Firm PC	8811	Court Attorney	06/03/2024	600.00	600.00	61554	06/07/2024
Total 551:				600.00	600.00		
Left Hand Language Soluti	1113	Court Interpreter Services	06/21/2024	270.00	270.00	24062805	06/28/2024
Total 563:				270.00	270.00		
Kid's Reference	KRC05-1319	PLA Books	06/10/2024	30.97	30.97	61654	06/28/2024
Total 603:				30.97	30.97		
Pomp's Tire Service Inc.	1910013942	PD - Vehicle Maint	06/07/2024	65.72	65.72	61612	06/14/2024
Total 651:				65.72	65.72		
Colorado Barricade Co.	65161948-00	Street Signs	06/01/2024	534.37	534.37	61562	06/07/2024
Total 677:				534.37	534.37		
Aqua Engineering	31095	Mizpah Cemetery Expansi	06/01/2024	580.00	580.00	61594	06/14/2024

Name	Invoice Number	Description	Invoice Date	Invoice Amount	Check Amount	Check Number	Check Issue Date
Total 684:				580.00	580.00		
Weld County School Distric	202406	Impact Fee - 112 Melody L	06/01/2024	1,054.20	1,054.20	61590	06/07/2024
Total 710:				1,054.20	1,054.20		
East West Books	ARU0373104	PLA Library - Books	06/12/2024	317.83	317.83	61647	06/28/2024
Total 711:				317.83	317.83		
Graciela Benavente Meraz	16705	Library - Cleaning	06/10/2024	525.00	525.00	61649	06/28/2024
Total 713:				525.00	525.00		
Denali Water Solutions LL	INV832895	Sewer - Sludge Solids Haul	06/13/2024	4,212.00	4,212.00	61625	06/21/2024
	INV837715	Sewer - Sludge Hauling	06/20/2024	1,404.00	1,404.00	61646	06/28/2024
Total 719:				5,616.00	5,616.00		
BSI Online	9255	Water - Annual Maintenanc	06/01/2024	495.00	495.00	61596	06/14/2024
Total 731:				495.00	495.00		
CINTAS	5215941649	B&G - First Aid Cabinet an	06/13/2024	167.82	167.82	61622	06/21/2024
	5215941658	Sewer - First Aid Cabinet S	06/13/2024	13.26	13.26	61622	06/21/2024
Total 732:				181.08	181.08		
Verastegui Services LLC	9269	Nantes Library - Landscapi	06/01/2024	245.25	245.25	61665	06/28/2024
Total 735:				245.25	245.25		
Urban Lawn Kommandos	006	Landscaping - Veterans Me	06/01/2024	555.00	555.00	61587	06/07/2024
	006-2	Cemetery - Mowing and M	06/05/2024	1,300.00	1,300.00	61619	06/14/2024
Total 737:				1,855.00	1,855.00		
McKusker Electric	4478-11530	B&G - Equipment M&R	06/06/2024	3,025.00	3,025.00	61606	06/14/2024
	4487-11537	B&G - Equipment M&R	06/06/2024	770.00	770.00	61606	06/14/2024
Total 746:				3,795.00	3,795.00		
Ram Waste Systems Inc.	7801864V32	Monthly Trash Collection	06/01/2024	17,576.00	17,576.00	61579	06/07/2024
Total 747:				17,576.00	17,576.00		
David Long	202406	Fort Vasquez	06/01/2024	31.50	31.50	61564	06/07/2024
Total 748:				31.50	31.50		
Platteville Senior Citizens	202406	Fort Vasquez - Consignme	06/01/2024	51.50	51.50	61576	06/07/2024
Total 750:				51.50	51.50		
Tim's Bees	202406	Fort Vasquez - Consignme	06/01/2024	36.00	36.00	61585	06/07/2024

Name	Invoice Number	Description	Invoice Date	Invoice Amount	Check Amount	Check Number	Check Issue Date
Total 752:				36.00	36.00		
Medicine for Business and	870792	PW - Recruitment	06/05/2024	113.42	113.42	61607	06/14/2024
	874593	PW - Recruitment	06/05/2024	128.52	128.52	61630	06/21/2024
	874659	PW - Recruitment	06/18/2024	113.42	113.42	61630	06/21/2024
Total 785:				355.36	355.36		
June Biemiller	202406	Restitution	06/01/2024	30.00	30.00	61570	06/07/2024
Total 790:				30.00	30.00		
Rose Interpreting	5399.02	PD - Crime Control / Investi	06/01/2024	55.50	55.50	61660	06/28/2024
Total 808:				55.50	55.50		
Mid City Corporation	2	Retainage Vasquez Sanitar	06/19/2024	12,475.20	12,475.20	61631	06/21/2024
Total 825:				12,475.20	12,475.20		
High Plains Landscapes, In	4082	Ballfield Turf Repair & Repl	06/26/2024	4,536.00	4,536.00	61652	06/28/2024
Total 827:				4,536.00	4,536.00		
King Kutter Inc.	AL-635564	Streets - Equipment M&r	06/01/2024	455.74	455.74	61572	06/07/2024
Total 829:				455.74	455.74		
On Target Marketing	1118	Library - NCR Forms	06/06/2024	900.00	900.00	61659	06/28/2024
Total 830:				900.00	900.00		
Grand Totals:				685,869.50	685,869.50		

Report Criteria:
 Summary report type printed

TOWN OF PATTEVILLE
 COMBINED CASH INVESTMENT
 JUNE 30, 2024

COMBINED CASH ACCOUNTS

999-0000-111000	BANK OF COLORADO CHECKING	449,517.18
999-0000-112000	3 - COMMUNITY BANKS - REC ACCT	154,794.30
999-0000-112050	2- COMMUNITY BANKS - DEPOSIT	117,915.09
999-0000-113500	XPRESS DEPOSIT ACCOUNT	275,841.30
999-0000-150000	CASH CLEARING-UTILITY	80.00
	TOTAL COMBINED CASH	998,147.87
999-0000-100010	ALLOCATED CASH TO OTHER FUNDS	(998,147.87)
	TOTAL UNALLOCATED CASH	.00

CASH ALLOCATION RECONCILIATION

100	ALLOCATION TO GENERAL FUND	(11,648.78)
210	ALLOCATION TO LIBRARY FUND	1,073,314.91
220	ALLOCATION TO CEMETERY FUND	56,876.10
230	ALLOCATION TO CONSERVATION TRUST FUND	81,439.74
280	ALLOCATION TO LAW ENFORCEMENT TRAINING/EQUIP	100,033.23
290	ALLOCATION TO HARVEST DAZE FUND	6,799.75
310	ALLOCATION TO CAPITAL IMPROVEMENT FUND	(212,572.19)
510	ALLOCATION TO SEWER FUND	(291,711.39)
520	ALLOCATION TO WATER FUND	195,616.50
	TOTAL ALLOCATIONS TO OTHER FUNDS	998,147.87
	ALLOCATION FROM COMBINED CASH FUND -999-0000-100010	(998,147.87)
	ZERO PROOF IF ALLOCATIONS BALANCE	.00

TOWN OF PATTEVILLE
BALANCE SHEET
JUNE 30, 2024

GENERAL FUND

ASSETS

100-0000-100010	ALLOCATED CHECKING/CASH GF	(11,648.78)	
100-0000-102100	CASH-WELD COUNTY TREASURER	186,017.65	
100-0000-106100	COLOTRUST-GENERAL	1,833,032.86	
100-0000-106181	COLOTRUST-DOWNTOWN REVITALIZAT	1,123,533.39	
100-0000-106182	COLOTRUST-POLICE STATION RESER	1,093,953.20	
100-0000-106190	COLOTRUST-DEVELOPMENT ESCROW	18,930.68	
100-0000-180000	A/R BILLING	26,323.43	
100-0000-180100	A/R - COURT	19,760.96	
100-0000-181000	PROPERTY TAX RECEIVABLE	999,935.00	
100-0000-182000	A/R OTHER	33,974.09	
100-0000-183000	DUE FROM OTHER GOVERNMENT	259,176.76	
100-0000-187000	PREPAID EXPENSES	1,612.21	
	TOTAL ASSETS		5,584,601.45

LIABILITIES AND EQUITY

LIABILITIES

100-0000-211200	ACCRUED WAGES	56,646.37	
100-0000-250000	DEFERRED REVENUE-PROPERTY TAX	999,935.00	
100-0000-250003	DEFERRED REVENUE-XCEL FRANCHIS	6,715.68	
	TOTAL LIABILITIES		1,063,297.05

FUND EQUITY

100-0000-300000	FUND BALANCE	4,880,555.99	
-	REVENUE OVER EXPENDITURES - YTD	(359,251.59)	
	TOTAL FUND EQUITY		4,521,304.40
	TOTAL LIABILITIES AND EQUITY		5,584,601.45

TOWN OF PATTEVILLE
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>TAX REVENUES</u>					
100-0000-411000	175,893.80	1,028,607.89	999,934.78	(28,673.11)	102.9
100-0000-411001	175.44	275.69	1,000.00	724.31	27.6
100-0000-413000	2,870.69	18,220.89	45,000.00	26,779.11	40.5
100-0000-414000	128,998.87	722,828.27	1,500,000.00	777,171.73	48.2
100-0000-414100	261.27	17,169.00	15,000.00	(2,169.00)	114.5
100-0000-415002	10,728.17	28,918.32	70,000.00	41,081.68	41.3
100-0000-415003	.00	35,945.42	65,000.00	29,054.58	55.3
100-0000-415004	532.18	2,372.37	1,500.00	(872.37)	158.2
100-0000-415009	1.33	104.52	.00	(104.52)	.0
100-0000-416000	.00	1,547.43	3,000.00	1,452.57	51.6
TOTAL TAX REVENUES	319,461.75	1,855,989.80	2,700,434.78	844,444.98	68.7
<u>LICENSES AND PERMITS</u>					
100-0000-422000	30.00	1,431.00	2,000.00	569.00	71.6
100-0000-423000	251.95	2,945.95	5,000.00	2,054.05	58.9
100-0000-424000	3.75	178.75	250.00	71.25	71.5
100-0000-426000	2,001.63	23,174.04	80,000.00	56,825.96	29.0
100-0000-427000	.00	25.00	.00	(25.00)	.0
TOTAL LICENSES AND PERMITS	2,287.33	27,754.74	87,250.00	59,495.26	31.8
<u>OTHER TAX REVENUE</u>					
100-0000-431000	5,953.02	17,859.06	34,815.00	16,955.94	51.3
100-0000-432000	325.62	2,013.79	4,200.00	2,186.21	48.0
100-0000-433000	15,899.80	90,089.59	156,817.00	66,727.41	57.5
100-0000-434000	.00	.00	140,000.00	140,000.00	.0
100-0000-436000	1,646.12	9,502.29	21,000.00	11,497.71	45.3
100-0000-437000	.00	.00	30,000.00	30,000.00	.0
TOTAL OTHER TAX REVENUE	23,824.56	119,464.73	386,832.00	267,367.27	30.9

TOWN OF PATTEVILLE
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>TOWN REVENUE</u>					
100-0000-441000 ADMINISTRATIVE FEE	18,903.64	113,421.84	226,843.69	113,421.85	50.0
100-0000-444000 BALL FIELD/PARK RENTAL FEE	75.00	390.00	2,000.00	1,610.00	19.5
100-0000-444500 RECREATION FEES/DONATIONS	3,845.14	33,839.86	50,750.00	16,910.14	66.7
100-0000-444501 CONCESSION SALES	2,156.00	2,677.00	4,000.00	1,323.00	66.9
100-0000-444505 WELCOME CENTER REVENUES	.00	180.00	.00	(180.00)	.0
100-0000-444520 FORT VASQUEZ / WELCOME CENTER	1,005.00	5,352.00	7,000.00	1,648.00	76.5
100-0000-445000 REFUSE COLLECTION	17,102.66	100,037.14	200,000.00	99,962.86	50.0
100-0000-445100 CLEANUP DAYS	.00	3,440.00	6,500.00	3,060.00	52.9
100-0000-445500 STREET LIGHTS	3,777.66	22,646.88	45,000.00	22,353.12	50.3
100-0000-446001 COMMUNITY CENTER RENTAL	739.75	6,964.00	8,500.00	1,536.00	81.9
100-0000-447500 ZONING, SUBDIVISION, ANNEXATIO	6,000.00	8,550.00	3,000.00	(5,550.00)	285.0
TOTAL TOWN REVENUE	53,604.85	297,498.72	553,593.69	256,094.97	53.7
<u>POLICE REVENUE</u>					
100-0000-451000 MISC POLICE FEES	642.75	2,287.00	4,000.00	1,713.00	57.2
100-0000-451001 RESTITUTION	1,375.78	1,141.60	500.00	(641.60)	228.3
100-0000-451100 COURT COSTS	840.00	3,896.00	7,000.00	3,104.00	55.7
100-0000-452000 FINES	18,310.00	102,527.09	125,000.00	22,472.91	82.0
TOTAL POLICE REVENUE	21,168.53	109,851.69	136,500.00	26,648.31	80.5
<u>MISCELLANEOUS</u>					
100-0000-511001 DEVELOPMENT REIMBURSEMENT	3,520.00	11,907.75	2,500.00	(9,407.75)	476.3
100-0000-511450 GILCREST LAW ENFORCEMENT SERVI	10,055.19	60,331.15	122,960.00	62,628.85	49.1
100-0000-511501 SRO SERVICES	250.00	40,629.50	137,950.00	97,320.50	29.5
100-0000-512000 EARNINGS ON INVESTMENTS	15,042.84	94,502.62	65,000.00	(29,502.62)	145.4
100-0000-512002 MISC REVENUE - LIBRARY	.00	30.00	5,000.00	4,970.00	.6
100-0000-513000 SALE OF TOWN PROPERTY	.00	.00	2,500.00	2,500.00	.0
100-0000-514001 UTILITY BILL PENALTIES/INTERES	.00	.00	5,000.00	5,000.00	.0
100-0000-514500 ROYALTIES	9,879.98	72,313.70	40,000.00	(32,313.70)	180.8
100-0000-518100 GRANT REVENUE	.00	20.00	.00	(20.00)	.0
100-0000-519000 CONVENIENCE FEES	223.00	1,135.00	2,000.00	865.00	56.8
100-0000-519003 MISC. REVENUE-SENIOR ORGANIZAT	70.00	6,669.00	18,000.00	11,331.00	37.1
100-0000-519004 MISC REVENUE - POLICE	.00	461.25	1,000.00	538.75	46.1
100-0000-519100 MISC REVENUE - GENERAL	20.00	14,820.20	15,000.00	179.80	98.8
TOTAL MISCELLANEOUS	39,061.01	302,820.17	416,910.00	114,089.83	72.6
<u>GRANT REVENUE</u>					
100-0000-520300 GRANT REVENUE	1,136.92	5,754.32	20,000.00	14,245.68	28.8
100-0000-522040 UNITED WAY-RECREATION	.00	3,500.00	4,600.00	1,100.00	76.1
TOTAL GRANT REVENUE	1,136.92	9,254.32	24,600.00	15,345.68	37.6

TOWN OF PATTEVILLE
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
TOTAL FUND REVENUE	460,544.95	2,722,634.17	4,306,120.47	1,583,486.30	63.2

TOWN OF PATTEVILLE
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>LEGISLATIVE</u>					
100-0110-616000	.00	1,050.00	4,200.00	3,150.00	25.0
100-0110-617000	.00	1,680.00	7,000.00	5,320.00	24.0
100-0110-618000	.00	44.81	170.00	125.19	26.4
100-0110-618002	.00	257.18	975.00	717.82	26.4
100-0110-651700	.00	.00	2,800.00	2,800.00	.0
100-0110-653000	63.36	3,491.36	3,328.00	(163.36)	104.9
100-0110-653300	.00	1,194.58	1,500.00	305.42	79.6
100-0110-654400	.00	121.27	150.00	28.73	80.9
100-0110-660010	226.45	1,400.13	6,800.00	5,399.87	20.6
100-0110-671000	.00	270.25	3,000.00	2,729.75	9.0
100-0110-701600	.00	980.00	3,000.00	2,020.00	32.7
100-0110-701700	.00	.00	4,000.00	4,000.00	.0
100-0110-702900	270.00	1,620.00	.00	(1,620.00)	.0
TOTAL LEGISLATIVE	559.81	12,109.58	36,923.00	24,813.42	32.8
<u>ADMIN</u>					
100-0140-613000	2,750.00	15,583.15	23,000.00	7,416.85	67.8
100-0140-615000	600.00	3,600.00	7,200.00	3,600.00	50.0
100-0140-652300	4,243.31	12,167.06	15,000.00	2,832.94	81.1
100-0140-653000	14.99	646.32	1,951.00	1,304.68	33.1
100-0140-653900	10,013.49	38,739.59	75,108.01	36,368.42	51.6
100-0140-654400	215.60	3,748.56	7,000.00	3,251.44	53.6
100-0140-654420	.00	.00	500.00	500.00	.0
100-0140-654430	.00	46.22	.00	(46.22)	.0
100-0140-654440	.00	2,367.74	3,000.00	632.26	78.9
100-0140-654600	.00	1,216.92	7,500.00	6,283.08	16.2
100-0140-654610	.00	6,777.76	15,000.00	8,222.24	45.2
100-0140-655000	1,487.00	8,604.03	1,500.00	(7,104.03)	573.6
100-0140-671000	716.66	3,250.52	5,000.00	1,749.48	65.0
100-0140-701000	1,760.70	10,284.82	10,000.00	(284.82)	102.9
100-0140-701100	.00	12,500.00	12,500.00	.00	100.0
100-0140-701500	8,956.98	47,527.42	85,000.00	37,472.58	55.9
100-0140-702600	877.50	13,500.20	22,500.00	8,999.80	60.0
100-0140-702610	600.00	4,200.00	.00	(4,200.00)	.0
100-0140-702900	.00	.00	3,500.00	3,500.00	.0
100-0140-754010	570.60	6,517.72	5,500.00	(1,017.72)	118.5
100-0140-792500	.00	.00	500.00	500.00	.0
100-0140-810103	3,015.91	19,014.81	20,000.00	985.19	95.1
100-0140-810104	.00	7,540.28	1,000.00	(6,540.28)	754.0
100-0140-811000	.00	742,493.00	5,000.00	(737,493.00)	14849.0
TOTAL ADMIN	35,822.74	960,326.12	327,259.01	(633,067.11)	293.5

TOWN OF PATTEVILLE
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
BUILDING AND GROUNDS					
100-0150-651500	RECRUITMENT	283.54	514.34	500.00 (14.34)	102.9
100-0150-652900	UNIFORMS/EQUIPMENT	52.57	273.87	650.00	42.1
100-0150-654400	SUPPLIES/SMALL EQUIPMENT	181.08	5,379.24	6,500.00	1,120.76 82.8
100-0150-656900	DITCH/WELL WATER ASSESSMENT	.00	14,101.48	15,000.00	898.52 94.0
100-0150-671000	TRAVEL/TRAINING/MEETINGS	.00	.00	500.00	500.00 .0
100-0150-701400	CLEANING FEES	2,250.00	12,120.00	20,000.00	7,880.00 60.6
100-0150-754010	PHONES/PAGER/DATA LINE/TV	629.88	1,869.44	3,500.00	1,630.56 53.4
100-0150-754020	UTILITIES	485.09	24,086.13	37,000.00	12,913.87 65.1
100-0150-754030	WATER FEE TO WATER FUND	333.33	1,999.98	4,000.00	2,000.02 50.0
100-0150-754040	SEWER FEE TO SEWER FUND	125.00	750.00	1,500.00	750.00 50.0
100-0150-791000	M/R BUILDINGS	245.20	8,303.84	20,000.00	11,696.16 41.5
100-0150-792500	M/R EQUIPMENT	6,078.93	15,026.81	12,000.00 (3,026.81)	125.2
100-0150-793500	M/R GROUNDS	727.54	14,214.60	6,500.00 (7,714.60)	218.7
100-0150-794000	LANDSCAPING	381.92	954.11	5,000.00	4,045.89 19.1
100-0150-810150	BUILDING/ROOMS	.00	3,612.86	15,000.00	11,387.14 24.1
100-0150-815109	CAPITAL OUTLAY	2,500.00	2,500.00	50,000.00	47,500.00 5.0
	TOTAL BUILDING AND GROUNDS	14,274.08	105,706.70	197,650.00	91,943.30 53.5
PLANNING AND ZONING					
100-0160-655200	PUBLICATIONS/ADVERTISING	.00	466.40	.00 (466.40)	.0
100-0160-671000	TRAVEL/TRAINING/MEETINGS	.00	.00	1,500.00	1,500.00 .0
100-0160-701300	BUILDING INSPECTION FEES	7,696.14	17,373.38	35,000.00	17,626.62 49.6
100-0160-702100	ENGINEER SERVICES	3,745.00	12,125.05	12,000.00 (125.05)	101.0
100-0160-702200	PLANNING SERVICES	1,060.00	10,000.00	35,000.00	25,000.00 28.6
100-0160-702600	LEGAL SERVICES	112.50	2,758.00	7,000.00	4,242.00 39.4
	TOTAL PLANNING AND ZONING	12,613.64	42,722.83	90,500.00	47,777.17 47.2
WAGES & BENEFITS					
100-0170-611000	WAGES - PUBLIC WORKS	29,751.70	120,241.47	246,387.41	126,145.94 48.8
100-0170-611003	WAGES - ADMIN	25,385.00	183,704.40	329,239.85	145,535.45 55.8
100-0170-611004	WAGES - POLICE	65,836.33	420,871.68	870,174.75	449,303.07 48.4
100-0170-611005	RECREATION	12,346.35	77,165.62	147,856.80	70,691.18 52.2
100-0170-611007	WAGES - MUSEUM	199.31	4,366.02	38,198.16	33,832.14 11.4
100-0170-618000	PAYROLL TAXES	1,998.15	12,132.00	28,622.78	16,490.78 42.4
100-0170-618001	FPPA	6,013.53	49,563.65	112,828.84	63,265.19 43.9
100-0170-618002	PERA	10,267.13	48,875.54	116,470.16	67,594.62 42.0
100-0170-618003	LONGEVITY	.00	17,303.80	57,285.00	39,981.20 30.2
100-0170-618004	HEALTH, DENTAL, VISION	16,646.37	156,766.39	322,283.54	165,517.15 48.6
100-0170-619000	WORKERS COMPENSATION	.00	16,877.10	34,473.55	17,596.45 49.0
	TOTAL WAGES & BENEFITS	168,443.87	1,107,867.67	2,303,820.84	1,195,953.17 48.1

TOWN OF PATTEVILLE
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>POLICE DEPARTMENT</u>					
100-0210-651500 RECRUITMENT	255.00	1,440.31	5,000.00	3,559.69	28.8
100-0210-652400 CRIME CONTROL/INVESTIGATION	55.50	1,226.10	5,000.00	3,773.90	24.5
100-0210-652450 CODE ENFORCEMENT TRAINING/SUPP	.00	96.64	500.00	403.36	19.3
100-0210-652460 ANIMAL SHELTER/CONTROL	.00	652.81	2,000.00	1,347.19	32.6
100-0210-652900 UNIFORMS/EQUIPMENT	.00	1,760.87	8,000.00	6,239.13	22.0
100-0210-653000 DUES/SUBSCRIPTIONS	.00	530.00	800.00	270.00	66.3
100-0210-653800 GAS/OIL	3,107.76	14,828.94	40,000.00	25,171.06	37.1
100-0210-654400 SUPPLIES/SMALL EQUIPMENT	187.68	862.75	5,000.00	4,137.25	17.3
100-0210-671000 TRAVEL/TRAINING/MEETINGS	98.12	524.05	5,000.00	4,475.95	10.5
100-0210-681000 COMMUNITY/YOUTH PROGRAMS	.00	.00	3,000.00	3,000.00	.0
100-0210-683000 COMPUTER/RADIO FEES	.00	6,313.48	11,500.00	5,186.52	54.9
100-0210-702600 LEGAL SERVICES	.00	1,869.10	3,000.00	1,130.90	62.3
100-0210-754010 PHONES/PAGER/DATA LINE/TV	2,476.46	8,601.74	14,000.00	5,398.26	61.4
100-0210-792500 M/R EQUIPMENT	260.00	3,655.45	4,000.00	344.55	91.4
100-0210-796500 M/R VEHICLES	705.08	4,905.47	15,000.00	10,094.53	32.7
100-0210-810217 COMPUTERS	.00	.00	3,000.00	3,000.00	.0
TOTAL POLICE DEPARTMENT	7,145.60	47,267.71	124,800.00	77,532.29	37.9
<u>PUBLIC WORKS</u>					
100-0305-651500 RECRUITMENT	386.30	1,574.32	500.00	1,074.32	314.9
100-0305-652900 UNIFORMS/EQUIPMENT	121.23	631.75	1,500.00	868.25	42.1
100-0305-653800 GAS/OIL	655.85	3,594.71	12,000.00	8,405.29	30.0
100-0305-654400 SUPPLIES/SMALL EQUIPMENT	52.47	1,828.24	4,000.00	2,171.76	45.7
100-0305-671000 TRAVEL/TRAINING/MEETINGS	.00	.00	1,000.00	1,000.00	.0
100-0305-702900 MISC PROFESSIONAL FEES	.00	95.00	300.00	205.00	31.7
TOTAL PUBLIC WORKS	1,215.85	7,724.02	19,300.00	11,575.98	40.0
<u>STREETS</u>					
100-0310-702100 ENGINEER SERVICES	.00	4,780.64	20,000.00	15,219.36	23.9
100-0310-703500 WEED CONTROL	664.50	1,702.50	5,000.00	3,297.50	34.1
100-0310-754010 PHONES/PAGER/DATA LINE/TV	51.26	183.23	500.00	316.77	36.7
100-0310-792500 M/R EQUIPMENT	1,747.16	5,486.34	18,000.00	12,513.66	30.5
100-0310-796500 M/R VEHICLES	31.65	1,359.70	2,500.00	1,140.30	54.4
100-0310-797000 MAINTENANCE OF CONDITION	4,679.99	33,690.68	75,000.00	41,309.32	44.9
100-0310-797500 CRACK SEALING	.00	50,000.00	50,000.00	.00	100.0
100-0310-810320 PW CAPITAL ITEMS-NOT CM	432,242.44	478,824.69	485,000.00	6,175.31	98.7
100-0310-901000 ICE/SNOW REMOVAL	.00	3,552.16	15,000.00	11,447.84	23.7
100-0310-902000 SIGNS	534.37	534.37	15,000.00	14,465.63	3.6
100-0310-905000 STREET LIGHTING	3,604.11	22,417.60	42,000.00	19,582.40	53.4
100-0310-957000 LAND LEASE UP	.00	.00	9,000.00	9,000.00	.0
TOTAL STREETS	443,555.48	602,531.91	737,000.00	134,468.09	81.8

TOWN OF PATTEVILLE
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT	
<u>SANITATION</u>						
100-0320-703000	REFUSE COLLECTION	17,576.00	87,880.00	190,000.00	102,120.00	46.3
100-0320-703001	CLEANUP DAYS	.00	11,402.22	20,000.00	8,597.78	57.0
	TOTAL SANITATION	17,576.00	99,282.22	210,000.00	110,717.78	47.3
<u>HEALTH & WELFARE</u>						
100-0410-651800	MOSQUITO CONTROL	.00	.00	6,500.00	6,500.00	.0
100-0410-701200	PEST ABATEMENT	1,555.88	1,555.88	3,000.00	1,444.12	51.9
	TOTAL HEALTH & WELFARE	1,555.88	1,555.88	9,500.00	7,944.12	16.4
<u>PARKS</u>						
100-0510-703002	SANITATION	1,286.50	5,052.00	7,000.00	1,948.00	72.2
100-0510-703500	WEED CONTROL	.00	.00	2,500.00	2,500.00	.0
100-0510-754010	PHONES/PAGER/DATA LINE/TV	43.94	157.05	400.00	242.95	39.3
100-0510-754030	WATER FEE TO WATER FUND	.00	.00	3,900.00	3,900.00	.0
100-0510-756010	COMMUNITY EVENTS	.00	431.60	5,000.00	4,568.40	8.6
100-0510-791000	M/R BUILDINGS	.00	415.93	5,000.00	4,584.07	8.3
100-0510-792500	M/R EQUIPMENT	144.32	10,375.17	50,000.00	39,624.83	20.8
100-0510-793500	M/R GROUNDS	4,712.53	9,980.63	30,000.00	20,019.37	33.3
100-0510-796500	M/R VEHICLES	36.94	201.30	2,500.00	2,298.70	8.1
	TOTAL PARKS	6,224.23	26,613.68	106,300.00	79,686.32	25.0
<u>RECREATION</u>						
100-0530-652100	CONCESSION SUPPLIES	1,709.58	2,604.95	4,500.00	1,895.05	57.9
100-0530-654400	SUPPLIES/SMALL EQUIPMENT	172.00	2,326.89	4,500.00	2,173.11	51.7
100-0530-654430	CREDIT CARD FEES	407.67	2,981.72	6,500.00	3,518.28	45.9
100-0530-654610	MISC	337.65	1,422.68	3,500.00	2,077.32	40.7
100-0530-655300	RECREATION EQUIPMENT	614.73	2,257.89	5,000.00	2,742.11	45.2
100-0530-655400	RECREATION UNIFORMS	231.11	6,919.83	8,500.00	1,580.17	81.4
100-0530-656400	TROPHIES/AWARDS	650.00	650.00	3,000.00	2,350.00	21.7
100-0530-657500	YOUTH ACTIVITIES	589.52	3,062.87	6,000.00	2,937.13	51.1
100-0530-657550	VIKING TIME EXPENSES	.00	372.27	3,000.00	2,627.73	12.4
100-0530-671000	TRAVEL/TRAINING/MEETINGS	.00	1,254.50	3,000.00	1,745.50	41.8
100-0530-673000	BACKGROUND CHECKS	.00	.00	1,500.00	1,500.00	.0
100-0530-701500	COMPUTER CONSULTING/EXPENSE	.00	2,568.00	3,000.00	432.00	85.6
100-0530-702500	LEAGUE/TOURNAMENT FEES	.00	4,318.23	7,500.00	3,181.77	57.6
100-0530-754010	PHONES/PAGER/DATA LINE/TV	217.82	812.27	1,500.00	687.73	54.2
	TOTAL RECREATION	4,930.08	31,552.10	61,000.00	29,447.90	51.7

TOWN OF PATTEVILLE
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>SENIOR CENTER</u>					
100-0540-653800	GAS/OIL	.00	.00	1,500.00	1,500.00 .0
100-0540-654400	SUPPLIES/SMALL EQUIPMENT	365.30	2,799.83	5,000.00	2,200.17 56.0
100-0540-671000	TRAVEL/TRAINING/MEETINGS	35.00	885.67	2,500.00	1,614.33 35.4
100-0540-671800	ACTIVITY EXPENSE	(1,207.50)	3,963.10	15,000.00	11,036.90 26.4
100-0540-672000	TOWN-SPONSORED MEALS	.00	792.77	2,000.00	1,207.23 39.6
100-0540-754010	PHONES/PAGER/DATA LINE/TV	55.18	323.99	400.00	76.01 81.0
100-0540-796500	M/R VEHICLES	.00	1,532.45	3,000.00	1,467.55 51.1
	TOTAL SENIOR CENTER	(752.02)	10,297.81	29,400.00	19,102.19 35.0
<u>MUSUEM</u>					
100-0550-653900	INSURANCE/BONDS	.00	.00	3,000.00	3,000.00 .0
100-0550-754010	PHONES/PAGER/DATA LINE/TV	203.73	1,220.36	2,500.00	1,279.64 48.8
100-0550-755000	SECURITY	.00	134.00	600.00	466.00 22.3
100-0550-791000	M/R BUILDINGS	.00	6,644.11	12,000.00	5,355.89 55.4
100-0550-794010	CONSIGNMENT EXP - WELCOME CENT	119.00	667.25	1,500.00	832.75 44.5
100-0550-794020	ACTIVITY EXP WELCOME CENTER	19.96	1,205.38	2,000.00	794.62 60.3
100-0550-794030	MERCHANDISE WELCOME CENTER	.00	1,165.97	2,000.00	834.03 58.3
100-0550-795000	SUPPLIES - WELCOME CENTER	25.70	1,145.71	1,000.00	(145.71) 114.6
	TOTAL MUSUEM	368.39	12,182.78	24,600.00	12,417.22 49.5
<u>TRANSFERS</u>					
100-0610-982802	DONATION TO HARVEST DAZE FUND	.00	14,144.75	15,000.00	855.25 94.3
	TOTAL TRANSFERS	.00	14,144.75	15,000.00	855.25 94.3
	TOTAL FUND EXPENDITURES	713,533.63	3,081,885.76	4,293,052.85	1,211,167.09 71.8
	NET REVENUE OVER EXPENDITURES	(252,988.68)	(359,251.59)	13,067.62	372,319.21 (2749.

TOWN OF PATTEVILLE
BALANCE SHEET
JUNE 30, 2024

LIBRARY FUND

ASSETS

210-0000-100010	ALLOCATED CASH TO LIBRARY	1,073,314.91	
210-0000-102100	CASH-WELD COUNTY TREASURER	8,837.45	
210-0000-104200	LIBRARY CHECKING	1,192.83	
210-0000-106120	COLOTRUST-LIBRARY	111,557.96	
210-0000-106311	COLOTRUST EDGE LIBRARY PLATTEV	3,188,083.61	
210-0000-106312	COLOTRUST EDGE GILCREST LIBRAR	364,575.05	
210-0000-181000	PROPERTY TAX RECEIVABLE	57,517.00	
	TOTAL ASSETS		4,805,078.81

LIABILITIES AND EQUITY

LIABILITIES

210-0000-211200	ACCRUED WAGES	17,796.38	
210-0000-250000	DEFERRED REVENUE-PROPERTY TAX	57,517.00	
	TOTAL LIABILITIES		75,313.38

FUND EQUITY

210-0000-300000	FUND BALANCE	3,754,216.37	
	REVENUE OVER EXPENDITURES - YTD	975,549.06	
	TOTAL FUND EQUITY		4,729,765.43
	TOTAL LIABILITIES AND EQUITY		4,805,078.81

TOWN OF PATTEVILLE
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

LIBRARY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>TAX REVENUES</u>					
210-0000-411000	9,904.73	57,799.63	57,517.10	(282.53)	100.5
210-0000-411001	9.88	15.52	20.00	4.48	77.6
TOTAL TAX REVENUES	9,914.61	57,815.15	57,537.10	(278.05)	100.5
<u>LIBRARY REVENUES</u>					
210-0000-438000	55,058.23	1,248,019.34	1,311,657.00	63,637.66	95.2
210-0000-438120	747.15	3,188.78	15,000.00	11,811.22	21.3
TOTAL LIBRARY REVENUES	55,805.38	1,251,208.12	1,326,657.00	75,448.88	94.3
<u>EARNINGS ON INVESTMENTS</u>					
210-0000-490000	14,489.38	81,564.69	50,000.00	(31,564.69)	163.1
TOTAL EARNINGS ON INVESTMENTS	14,489.38	81,564.69	50,000.00	(31,564.69)	163.1
<u>EARNINGS ON INVESTMENTS</u>					
210-2110-490000	1,600.53	8,985.69	.00	(8,985.69)	.0
TOTAL EARNINGS ON INVESTMENTS	1,600.53	8,985.69	.00	(8,985.69)	.0
TOTAL FUND REVENUE	81,809.90	1,399,573.65	1,434,194.10	34,620.45	97.6

TOWN OF PATTEVILLE
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

LIBRARY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PLATTEVILLE LIBRARY</u>					
210-0000-611000	WAGES PLATTEVILLE LIBRARY	30,960.70	199,537.27	350,182.00	150,644.73 57.0
210-0000-618000	PAYROLL TAXES	486.88	3,133.71	7,004.00	3,870.29 44.7
210-0000-618002	PERA	4,575.98	29,479.52	44,143.26	14,663.74 66.8
210-0000-618003	LONGEVITY	.00	.00	28,400.00	28,400.00 .0
210-0000-618004	HEALTH, DENTAL, VISION	4,464.72	28,939.81	100,903.26	71,963.45 28.7
210-0000-619000	WORKERS COMPENSATION	.00	3,451.70	6,514.96	3,063.26 53.0
210-0000-650120	ARCHIVES	.00	2,500.00	2,500.00	.00 100.0
210-0000-652000	DONATIONS GIVEN	.00	1,253.84	3,000.00	1,746.16 41.8
210-0000-653000	DUES/SUBSCRIPTIONS	288.00	1,543.89	1,500.00	(43.89) 102.9
210-0000-653900	INSURANCE/BONDS	.00	12,523.78	24,502.67	11,978.89 51.1
210-0000-654100	CIRCULATING MATERIALS	592.72	5,515.80	24,500.00	18,984.20 22.5
210-0000-654200	PERIODICALS	349.38	379.37	500.00	120.63 75.9
210-0000-654300	AUDIO/VISUAL	931.90	4,504.79	6,000.00	1,495.21 75.1
210-0000-654400	SUPPLIES/SMALL EQUIPMENT	1,115.42	1,593.51	7,250.00	5,656.49 22.0
210-0000-655200	PUBLICATIONS/ADVERTISING	499.99	2,097.41	10,000.00	7,902.59 21.0
210-0000-655800	CHILDREN'S PROGRAMMING	.00	1,858.40	6,500.00	4,641.60 28.6
210-0000-655810	ADULT PROGRAMMING	.00	1,961.01	3,750.00	1,788.99 52.3
210-0000-655820	BOARD / VOLUNTEER APPRECIATION	.00	118.55	3,000.00	2,881.45 4.0
210-0000-655830	TUITION REIMBURSEMENT	4,076.82	4,193.64	30,000.00	25,806.36 14.0
210-0000-655840	STORAGE UNIT	65.00	390.00	1,500.00	1,110.00 26.0
210-0000-671000	TRAVEL/TRAINING/MEETINGS	163.71	669.69	2,500.00	1,830.31 26.8
210-0000-701000	WELD COUNTY TREASURER FEES	99.15	579.15	600.00	20.85 96.5
210-0000-701050	ADMINISTRATIVE FEES	4,109.48	24,656.88	49,313.85	24,656.97 50.0
210-0000-701400	CLEANING FEES	525.00	3,125.00	8,000.00	4,875.00 39.1
210-0000-702900	MISC PROFESSIONAL FEES	100.00	400.00	10,000.00	9,600.00 4.0
210-0000-754010	PHONES/PAGER/DATA LINE/TV	389.61	3,670.30	7,500.00	3,829.70 48.9
210-0000-754020	UTILITIES	93.29	3,059.65	10,000.00	6,940.35 30.6
210-0000-791000	M/R BUILDINGS	26.48	536.44	16,000.00	15,463.56 3.4
210-0000-812103	CONTINGENCY	.00	.00	5,000.00	5,000.00 .0
210-0000-812104	EQUIPMENT ACQUISITIONS	.00	585.96	3,000.00	2,414.04 19.5
210-0000-812107	ART/FURNISHINGS	.00	.00	2,000.00	2,000.00 .0
210-0000-812109	LIBRARY CAPITAL ITEMS	7,375.00	7,375.00	100,000.00	92,625.00 7.4
	TOTAL PLATTEVILLE LIBRARY	61,289.23	349,634.07	875,564.00	525,929.93 39.9

TOWN OF PATTEVILLE
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

LIBRARY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GILCREST LIBRARY</u>					
210-2110-611000	6,372.65	42,879.27	135,965.00	93,085.73	31.5
210-2110-618000	102.25	689.20	2,719.00	2,029.80	25.4
210-2110-618002	941.75	6,342.98	15,174.43	8,831.45	41.8
210-2110-618003	.00	.00	2,300.00	2,300.00	.0
210-2110-618004	641.94	4,169.97	14,414.75	10,244.78	28.9
210-2110-619000	.00	1,061.50	2,239.55	1,178.05	47.4
210-2110-654100	829.05	5,990.46	15,000.00	9,009.54	39.9
210-2110-654200	207.06	228.65	400.00	171.35	57.2
210-2110-654300	86.82	360.28	2,000.00	1,639.72	18.0
210-2110-654400	.00	1,363.58	2,500.00	1,136.42	54.5
210-2110-655800	701.27	1,989.30	6,500.00	4,510.70	30.6
210-2110-655810	353.71	1,689.70	3,750.00	2,060.30	45.1
210-2110-701400	475.00	2,825.00	6,500.00	3,675.00	43.5
210-2110-754010	215.62	643.15	2,750.00	2,106.85	23.4
210-2110-754020	191.70	1,877.33	5,000.00	3,122.67	37.6
210-2110-791000	393.92	2,280.15	8,500.00	6,219.85	26.8
210-2110-815109	.00	.00	10,000.00	10,000.00	.0
TOTAL GILCREST LIBRARY	11,512.74	74,390.52	235,712.73	161,322.21	31.6
TOTAL FUND EXPENDITURES	72,801.97	424,024.59	1,111,276.73	687,252.14	38.2
NET REVENUE OVER EXPENDITURES	9,007.93	975,549.06	322,917.37	(652,631.69)	302.1

TOWN OF PATTEVILLE
BALANCE SHEET
JUNE 30, 2024

CEMETERY FUND

ASSETS

220-0000-100010	ALLOCATED CASH TO CEMETERY	56,876.10	
220-0000-106129	COLOTRUST-PERPETUAL CARE	148,332.31	
220-0000-106132	COLOTRUST-CEMETERY OPERATING	83,171.01	
	TOTAL ASSETS		288,379.42

LIABILITIES AND EQUITY

LIABILITIES

220-0000-211200	ACCRUED WAGES	1,300.00	
	TOTAL LIABILITIES		1,300.00

FUND EQUITY

220-0000-300000	FUND BALANCE	277,770.60	
	REVENUE OVER EXPENDITURES - YTD	9,308.82	
	TOTAL FUND EQUITY		287,079.42
	TOTAL LIABILITIES AND EQUITY		288,379.42

TOWN OF PATTEVILLE
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2024

CEMETERY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>EARNINGS ON INVESTMENTS</u>					
220-0000-490000 EARNINGS ON INVESTMENTS	1,023.56	6,200.24	3,500.00	(2,700.24)	177.2
TOTAL EARNINGS ON INVESTMENTS	1,023.56	6,200.24	3,500.00	(2,700.24)	177.2
<u>OTHER INCOME</u>					
220-0000-573000 LOT SALES	1,200.00	8,000.00	22,000.00	14,000.00	36.4
220-0000-573002 VAULT SALES	185.00	1,110.00	1,500.00	390.00	74.0
220-0000-573004 OPEN/CLOSE FEES	2,100.00	12,200.00	25,000.00	12,800.00	48.8
220-0000-577000 WATER TOWER LEASE	1,000.00	6,000.00	15,000.00	9,000.00	40.0
220-0000-578000 LAND LEASE-WATER FUND	4,166.67	25,000.02	50,000.00	24,999.98	50.0
TOTAL OTHER INCOME	8,651.67	52,310.02	113,500.00	61,189.98	46.1
TOTAL FUND REVENUE	9,675.23	58,510.26	117,000.00	58,489.74	50.0

TOWN OF PATTEVILLE
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

CEMETERY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>CEMETERY EXPENSES</u>					
220-0000-611000 WAGES CEMETERY	2,457.51	13,825.40	26,252.23	12,426.83	52.7
220-0000-618000 PAYROLL TAXES	39.86	225.13	457.45	232.32	49.2
220-0000-618002 PERA	363.23	2,043.40	3,733.07	1,689.67	54.7
220-0000-618003 LONGEVITY	.00	.00	2,115.00	2,115.00	.0
220-0000-618004 HEALTH, DENTAL, VISION	181.23	1,384.90	6,486.64	5,101.74	21.4
220-0000-619000 WORKERS COMPENSATION	.00	398.36	550.95	152.59	72.3
220-0000-652900 UNIFORMS/EQUIPMENT	72.70	378.93	1,000.00	621.07	37.9
220-0000-653800 GAS/OIL	218.61	1,129.24	4,000.00	2,870.76	28.2
220-0000-653900 INSURANCE/BONDS	.00	1,744.36	4,720.39	2,976.03	37.0
220-0000-654400 SUPPLIES/SMALL EQUIPMENT	.00	51.99	1,500.00	1,448.01	3.5
220-0000-654500 VAULT PURCHASE (BY TOWN)	.00	.00	3,000.00	3,000.00	.0
220-0000-701050 ADMINISTRATIVE FEES	1,693.80	9,912.80	19,725.54	9,812.74	50.3
220-0000-703002 SANITATION	754.00	2,518.00	4,200.00	1,682.00	60.0
220-0000-754010 PHONES/PAGER/DATA LINE/TV	29.30	104.70	300.00	195.30	34.9
220-0000-754020 UTILITIES	.00	400.91	400.00	(.91)	100.2
220-0000-792000 M/R SPRINKLERS	417.42	508.34	3,500.00	2,991.66	14.5
220-0000-792500 M/R EQUIPMENT	.00	649.50	2,500.00	1,850.50	26.0
220-0000-793500 M/R GROUNDS	2,981.65	8,791.74	10,750.00	1,958.26	81.8
220-0000-794000 LANDSCAPING	2,290.48	4,008.34	15,000.00	10,991.66	26.7
220-0000-796500 M/R VEHICLES	36.94	545.40	600.00	54.60	90.9
220-0000-812201 CAPITAL OUTLAY	580.00	580.00	.00	(580.00)	.0
TOTAL CEMETERY EXPENSES	12,116.73	49,201.44	110,791.27	61,589.83	44.4
TOTAL FUND EXPENDITURES	12,116.73	49,201.44	110,791.27	61,589.83	44.4
NET REVENUE OVER EXPENDITURES	(2,441.50)	9,308.82	6,208.73	(3,100.09)	149.9

TOWN OF PATTEVILLE
BALANCE SHEET
JUNE 30, 2024

CONSERVATION TRUST FUND

ASSETS

230-0000-100010	ALLOCATED CASH TO CTF	81,439.74	
230-0000-106160	COLOTRUST-CONSERVATION TRUST	79,897.52	
	TOTAL ASSETS		161,337.26

LIABILITIES AND EQUITY

FUND EQUITY

230-0000-300000	FUND BALANCE	153,374.35	
	REVENUE OVER EXPENDITURES - YTD	7,962.91	
	TOTAL FUND EQUITY		161,337.26
	TOTAL LIABILITIES AND EQUITY		161,337.26

TOWN OF PATTEVILLE
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2024

CONSERVATION TRUST FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>CONSERVATION TRUST INCOME</u>					
230-0000-490000 EARNINGS ON INVESTMENTS	353.25	2,139.86	1,500.00	(639.86)	142.7
230-0000-490100 LOTTERY	9,294.85	19,509.07	35,000.00	15,490.93	55.7
TOTAL CONSERVATION TRUST INCOME	9,648.10	21,648.93	36,500.00	14,851.07	59.3
TOTAL FUND REVENUE	9,648.10	21,648.93	36,500.00	14,851.07	59.3

TOWN OF PATTEVILLE
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2024

CONSERVATION TRUST FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>CONSERVATION TRUST EXPENSES</u>					
230-0000-812306 BALL FIELD MAINTENANCE	6,258.08	13,147.89	30,000.00	16,852.11	43.8
230-0000-812309 TREE CITY USA	.00	538.13	6,000.00	5,461.87	9.0
TOTAL CONSERVATION TRUST EXPENSES	<u>6,258.08</u>	<u>13,686.02</u>	<u>36,000.00</u>	<u>22,313.98</u>	<u>38.0</u>
TOTAL FUND EXPENDITURES	<u>6,258.08</u>	<u>13,686.02</u>	<u>36,000.00</u>	<u>22,313.98</u>	<u>38.0</u>
NET REVENUE OVER EXPENDITURES	<u>3,390.02</u>	<u>7,962.91</u>	<u>500.00</u>	<u>(7,462.91)</u>	<u>1592.6</u>

TOWN OF PATTEVILLE
BALANCE SHEET
JUNE 30, 2024

LAW ENFORCEMENT TRAINING/EQUIP

ASSETS

280-0000-100010	ALLOCATED CASH TO LAW ENFORCE	100,033.23	
280-0000-106162	COLOTRUST-LAW ENFORCEMENT	188,108.85	
	TOTAL ASSETS		288,142.08

LIABILITIES AND EQUITY

FUND EQUITY

280-0000-300000	FUND BALANCE	301,175.78	
	REVENUE OVER EXPENDITURES - YTD	(13,033.70)	
	TOTAL FUND EQUITY		288,142.08
	TOTAL LIABILITIES AND EQUITY		288,142.08

TOWN OF PATTEVILLE
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2024

LAW ENFORCEMENT TRAINING/EQUIP

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>LAW ENFORCEMENT REVENUE</u>					
280-0000-448001 VICTIM SURCHARGE	6,712.00	35,753.00	50,000.00	14,247.00	71.5
280-0000-448002 GILCREST LAW ENFORCEMENT SERVI	2,513.80	15,082.79	29,844.00	14,761.21	50.5
280-0000-448003 SRO SERVICES	.00	9,579.90	34,487.00	24,907.10	27.8
TOTAL LAW ENFORCEMENT REVENUE	9,225.80	60,415.69	114,331.00	53,915.31	52.8
<u>EARNINGS ON INVESTMENTS</u>					
280-0000-490000 EARNINGS ON INVESTMENTS	831.74	26,797.15	1,500.00	(25,297.15)	1786.5
TOTAL EARNINGS ON INVESTMENTS	831.74	26,797.15	1,500.00	(25,297.15)	1786.5
<u>GRANT REVENUE</u>					
280-0000-518100 GRANT REVENUE	.00	.00	25,000.00	25,000.00	.0
TOTAL GRANT REVENUE	.00	.00	25,000.00	25,000.00	.0
TOTAL FUND REVENUE	10,057.54	87,212.84	140,831.00	53,618.16	61.9

TOWN OF PATTEVILLE
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2024

LAW ENFORCEMENT TRAINING/EQUIP

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>LAW ENFORCEMENT EXPENSES</u>					
280-0000-671500 GREELEY PD VICTIM ADVOCATE	.00	2,210.00	2,500.00	290.00	88.4
280-0000-810210 POLICE EQUIPMENT	.00	.00	50,000.00	50,000.00	.0
280-0000-810212 DISPATCH FEES	.00	33,711.54	44,000.00	10,288.46	76.6
280-0000-815200 REPLACEMENT VEHICLE	.00	55,000.00	55,000.00	.00	100.0
280-0000-816000 CONTINGENCY FOR REPLACEMENT	.00	9,325.00	15,000.00	5,675.00	62.2
TOTAL LAW ENFORCEMENT EXPENSES	.00	100,246.54	166,500.00	66,253.46	60.2
TOTAL FUND EXPENDITURES	.00	100,246.54	166,500.00	66,253.46	60.2
NET REVENUE OVER EXPENDITURES	10,057.54	(13,033.70)	(25,669.00)	(12,635.30)	(50.8)

TOWN OF PATTEVILLE
 BALANCE SHEET
 JUNE 30, 2024

HARVEST DAZE FUND

ASSETS

290-0000-100010	ALLOCATED CASH HARVEST DAZE	6,799.75	
290-0000-106171	COLOTRUST-HARVEST DAZE	436.03	
	TOTAL ASSETS		<u>7,235.78</u>

LIABILITIES AND EQUITY

FUND EQUITY

290-0000-300000	FUND BALANCE	12,299.55	
	REVENUE OVER EXPENDITURES - YTD	(5,063.77)	
	TOTAL FUND EQUITY		<u>7,235.78</u>
	TOTAL LIABILITIES AND EQUITY		<u>7,235.78</u>

TOWN OF PATTEVILLE
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

HARVEST DAZE FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>EARNINGS ON INVESTMENTS</u>					
290-0000-490000 EARNINGS ON INVESTMENTS	1.86	11.23	15.00	3.77	74.9
TOTAL EARNINGS ON INVESTMENTS	1.86	11.23	15.00	3.77	74.9
<u>HARVEST DAZE REVENUE</u>					
290-0000-511500 DONATIONS/GIFTS	.00	.00	15,000.00	15,000.00	.0
290-0000-511510 BOOTH RENTAL	.00	75.00	150.00	75.00	50.0
290-0000-511530 GOLF REGISTRATION	6,850.00	6,850.00	15,000.00	8,150.00	45.7
290-0000-511550 BEER GARDEN SALES	.00	.00	2,500.00	2,500.00	.0
TOTAL HARVEST DAZE REVENUE	6,850.00	6,925.00	32,650.00	25,725.00	21.2
<u>TRANSFER</u>					
290-0000-520000 DONATION FROM GENERAL FUND	.00	.00	15,000.00	15,000.00	.0
TOTAL TRANSFER	.00	.00	15,000.00	15,000.00	.0
TOTAL FUND REVENUE	6,851.86	6,936.23	47,665.00	40,728.77	14.6

TOWN OF PATTEVILLE
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

HARVEST DAZE FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>HARVEST DAZE EXPENSES</u>					
290-0000-652210 FIREWORKS	.00	4,000.00	8,000.00	4,000.00	50.0
290-0000-652220 GOLF TOURNAMENT	.00	.00	9,000.00	9,000.00	.0
290-0000-652260 ENTERTAINMENT	.00	400.00	7,000.00	6,600.00	5.7
290-0000-652270 YOUTH ACTIVITIES	.00	7,600.00	15,000.00	7,400.00	50.7
290-0000-652280 BEER GARDEN EXPENSE	.00	.00	1,250.00	1,250.00	.0
290-0000-652290 SANITATION EXPENSE	.00	.00	1,500.00	1,500.00	.0
290-0000-654400 SUPPLIES/SMALL EQUIPMENT	.00	.00	1,500.00	1,500.00	.0
290-0000-654610 MISC	.00	.00	3,000.00	3,000.00	.0
TOTAL HARVEST DAZE EXPENSES	.00	12,000.00	46,250.00	34,250.00	26.0
TOTAL FUND EXPENDITURES	.00	12,000.00	46,250.00	34,250.00	26.0
NET REVENUE OVER EXPENDITURES	6,851.86	(5,063.77)	1,415.00	6,478.77	(357.9)

TOWN OF PATTEVILLE
BALANCE SHEET
JUNE 30, 2024

CAPITAL IMPROVEMENT FUND

ASSETS

310-0000-100010	ALLOCATED CASH CAP IMPROVEMENT	(212,572.19)
310-0000-106133	COLOTRUST-PARK IMPACT FEE		305,437.06
310-0000-106161	COLOTRUST-USE TAX		187,339.12
310-0000-106185	COLOTRUST-STORM DRAINAGE FEE		571,484.73
310-0000-106200	COLOTRUST-CAPITAL IMPROVEMENT		424,883.29
310-0000-180000	A/R BILLING		6,469.29
310-0000-183000	DUE FROM OTHER GOVERNMENT		122,912.29

TOTAL ASSETS			1,405,953.59
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LIABILITIES AND EQUITY

FUND EQUITY

310-0000-300000	FUND BALANCE		646,083.43
310-0000-300012	FUND BALANCE - USE TAX		42,803.64
310-0000-300013	FUND BALANCE -PARK IMPACT		12,900.59
310-0000-300014	FUND BALANCE - STORM DRAIN		28,037.43
310-0000-300015	FUND BALANCE - TRANSPORTATION		143,655.46
310-0000-300017	FUND BALANCE - PUBLIC FACILITI		78,241.29
310-0000-300018	FUND BALANCE - SIDEWALK MAINTEN		34,528.83
310-0000-300019	FUND BALANCE - OVERSIZE / OVER		79,398.72
	REVENUE OVER EXPENDITURES - YTD	340,304.20	

TOTAL FUND EQUITY			1,405,953.59
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TOTAL LIABILITIES AND EQUITY			1,405,953.59
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TOWN OF PATTEVILLE
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

CAPITAL IMPROVEMENT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>CAPITAL IMPROVEMENTS</u>					
310-1000-490000 EARNINGS ON INVESTMENTS	1,878.59	11,379.71	7,500.00	(3,879.71)	151.7
310-1000-491000 SALES TAX	64,693.12	362,499.47	800,000.00	437,500.53	45.3
TOTAL CAPITAL IMPROVEMENTS	66,571.71	373,879.18	807,500.00	433,620.82	46.3
<u>USE TAX</u>					
310-1110-416001 USE TAX	1,135.95	14,348.24	35,000.00	20,651.76	41.0
TOTAL USE TAX	1,135.95	14,348.24	35,000.00	20,651.76	41.0
<u>USE TAX EARNINGS ON INV</u>					
310-1110-490000 EARNINGS ON INVESTMENTS	828.29	5,017.48	7,500.00	2,482.52	66.9
TOTAL USE TAX EARNINGS ON INV	828.29	5,017.48	7,500.00	2,482.52	66.9
<u>SIDEWALK MAINTENANCE</u>					
310-1120-490900 UTILITY BILLING INCOME	6,264.99	37,571.01	75,000.00	37,428.99	50.1
TOTAL SIDEWALK MAINTENANCE	6,264.99	37,571.01	75,000.00	37,428.99	50.1
<u>PUBLIC FACILITIES</u>					
310-1130-490200 IMPACT FEE	.00	6,894.00	2,096.00	(4,798.00)	328.9
TOTAL PUBLIC FACILITIES	.00	6,894.00	2,096.00	(4,798.00)	328.9
<u>STORM DRAINAGE</u>					
310-1140-490000 EARNINGS ON INVESTMENTS	2,526.79	15,306.04	20,000.00	4,693.96	76.5
310-1140-490200 IMPACT FEE	.00	.00	1,601.00	1,601.00	.0
TOTAL STORM DRAINAGE	2,526.79	15,306.04	21,601.00	6,294.96	70.9
<u>OVERSIZE / OVERWEIGHT</u>					
310-1150-448001 OVERSIZE/OVERWEIGHT FEE	.00	.00	500.00	500.00	.0
TOTAL OVERSIZE / OVERWEIGHT	.00	.00	500.00	500.00	.0

TOWN OF PATTEVILLE
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2024

CAPITAL IMPROVEMENT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>TRANSPORTATION</u>					
310-1160-490200 IMPACT FEE	.00	.00	2,860.00	2,860.00	.0
TOTAL TRANSPORTATION	.00	.00	2,860.00	2,860.00	.0
<u>PARKS</u>					
310-1170-490000 EARNINGS ON INVESTMENTS	1,350.46	8,180.46	.00	(8,180.46)	.0
310-1170-490200 IMPACT FEE	.00	.00	1,538.00	1,538.00	.0
TOTAL PARKS	1,350.46	8,180.46	1,538.00	(6,642.46)	531.9
 TOTAL FUND REVENUE	 78,678.19	 461,196.41	 953,595.00	 492,398.59	 48.4

TOWN OF PATTEVILLE
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

CAPITAL IMPROVEMENT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
310-0000-810004 CAPITAL OUTLAY	1,600.00	6,480.00	750,000.00	743,520.00	.9
TOTAL DEPARTMENT 0000	1,600.00	6,480.00	750,000.00	743,520.00	.9
<u>USE TAX</u>					
310-1110-654601 MOWING CONTRACT	4,325.29	7,977.12	30,000.00	22,022.88	26.6
TOTAL USE TAX	4,325.29	7,977.12	30,000.00	22,022.88	26.6
<u>SIDEWALK MAINTENANCE</u>					
310-1120-791500 REPAIRS AND MAINTENANCE	1,300.00	15,850.00	100,000.00	84,150.00	15.9
TOTAL SIDEWALK MAINTENANCE	1,300.00	15,850.00	100,000.00	84,150.00	15.9
<u>PUBLIC FACILITIES</u>					
310-1130-815109 CAPITAL OUTLAY	.00	.00	50,000.00	50,000.00	.0
TOTAL PUBLIC FACILITIES	.00	.00	50,000.00	50,000.00	.0
<u>TRANSPORATION EXPENDITURES</u>					
310-1160-828000 TRANSPORTATION EXPENDITURES	4,171.52	90,585.09	65,000.00	(25,585.09)	139.4
TOTAL TRANSPORATION EXPENDITURES	4,171.52	90,585.09	65,000.00	(25,585.09)	139.4
<u>PARKS EXPENDITURES</u>					
310-1170-791500 REPAIRS AND MAINTENANCE	.00	.00	10,000.00	10,000.00	.0
TOTAL PARKS EXPENDITURES	.00	.00	10,000.00	10,000.00	.0
TOTAL FUND EXPENDITURES	11,396.81	120,892.21	1,005,000.00	884,107.79	12.0
NET REVENUE OVER EXPENDITURES	67,281.38	340,304.20	(51,405.00)	(391,709.20)	662.0

TOWN OF PATTEVILLE
BALANCE SHEET
JUNE 30, 2024

SEWER FUND

ASSETS

510-0000-100010	ALLOCATED CASH SEWER	(291,711.39)
510-0000-106210	COLOTRUST-SEWER		2,549,289.07
510-0000-106211	COLOTRUST-SEWER INVESTMENT FEE		509,095.81
510-0000-106212	COLOTRUST-LAGOON RESERVE		113,452.88
510-0000-125000	EQUIPMENT		278,028.03
510-0000-130000	LAND		48,537.58
510-0000-155000	SANITARY SEWER SYSTEM		8,199,065.99
510-0000-156000	STORM SEWER SYSTEM		181,704.00
510-0000-165000	CONSTRUCTION IN PROGRESS		81,835.00
510-0000-170000	ACCUMULATED DEPRECIATION-EQUIP	(249,304.00)
510-0000-170001	ACCUMULATED DEPRECIATION-SYSTE	(861,263.00)
510-0000-170002	ACCUMULATED DEPRECIATION-STORM	(170,937.60)
510-0000-180000	A/R BILLING		77,104.98
510-0000-187000	PREPAID EXPENSES		1,612.21
510-0000-199100	DEF OUTFLOWS PENSION-PERA		34,116.00
510-0000-199101	DEF OUTFLOWS PENSION-PERA OPEB		1,140.00
			10,501,765.56
	TOTAL ASSETS		10,501,765.56

LIABILITIES AND EQUITY

LIABILITIES

510-0000-211150	PAYROLL PAYABLE	(1,630.02)
510-0000-211200	ACCRUED WAGES		4,990.02
510-0000-211651	ACCRUED COMPENSATED ABSENCES		3,260.00
510-0000-211700	NET PENSION LIABILITY		63,847.00
510-0000-221000	DEF INFLOWS PENSION-PERA		1,057.00
510-0000-221001	DEF INTFLOWS PENSION-PERA OPEB		1,543.00
510-0000-221100	NET OPEB LIABILITY-PERA OPEB		4,191.00
510-0000-223000	SRF LOAN		5,692,483.12
			5,769,741.12
	TOTAL LIABILITIES		5,769,741.12

FUND EQUITY

510-0000-300000	FUND BALANCE		4,763,401.73
	REVENUE OVER EXPENDITURES - YTD	(31,377.29)
			4,732,024.44
	TOTAL FUND EQUITY		4,732,024.44
	TOTAL LIABILITIES AND EQUITY		10,501,765.56

TOWN OF PATTEVILLE
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 6 MONTHS ENDING JUNE 30, 2024

SEWER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>SEWER REVENUES</u>					
510-0000-441000 ADMINISTRATIVE FEE	125.00	750.00	.00	(750.00)	.0
510-0000-441500 UPKEEP CHARGE	49,578.53	297,329.53	576,261.58	278,932.05	51.6
510-0000-441501 CONSUMPTION	19,406.87	116,276.48	275,000.00	158,723.52	42.3
510-0000-441503 SERVICE CHARGE	.00	.00	1,000.00	1,000.00	.0
510-0000-446000 INVESTMENT FEES	.00	.00	3,905.00	3,905.00	.0
TOTAL SEWER REVENUES	69,110.40	414,356.01	856,166.58	441,810.57	48.4
<u>OTHER REVENUE</u>					
510-0000-490000 EARNINGS ON INVESTMENTS	14,024.09	84,951.20	1,000.00	(83,951.20)	8495.1
TOTAL OTHER REVENUE	14,024.09	84,951.20	1,000.00	(83,951.20)	8495.1
TOTAL FUND REVENUE	83,134.49	499,307.21	857,166.58	357,859.37	58.3

TOWN OF PATTEVILLE
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

SEWER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>SEWER EXPENSES</u>					
510-0000-611000	4,220.50	40,302.62	112,761.01	72,458.39	35.7
510-0000-618000	62.41	609.44	1,964.86	1,355.42	31.0
510-0000-618002	618.26	5,933.15	16,034.62	10,101.47	37.0
510-0000-618003	.00	.00	2,250.00	2,250.00	.0
510-0000-618004	522.50	4,916.22	26,667.29	21,751.07	18.4
510-0000-619000	.00	1,250.96	2,366.50	1,115.54	52.9
510-0000-652700	.00	8,040.44	3,000.00	(5,040.44)	268.0
510-0000-652900	80.82	421.17	1,000.00	578.83	42.1
510-0000-653000	.00	1,092.50	2,500.00	1,407.50	43.7
510-0000-653800	382.57	1,976.22	7,500.00	5,523.78	26.4
510-0000-653900	.00	8,298.01	22,458.63	14,160.62	37.0
510-0000-654400	49.97	4,928.08	20,000.00	15,071.92	24.6
510-0000-654410	.00	.00	500.00	500.00	.0
510-0000-654430	1,773.22	9,368.96	18,500.00	9,131.04	50.6
510-0000-654440	.00	.00	5,000.00	5,000.00	.0
510-0000-654610	.00	.00	1,000.00	1,000.00	.0
510-0000-671000	20.00	321.38	800.00	478.62	40.2
510-0000-701050	6,575.18	39,451.08	78,902.15	39,451.07	50.0
510-0000-701100	.00	3,312.50	11,500.00	8,187.50	28.8
510-0000-701110	.00	458.43	5,000.00	4,541.57	9.2
510-0000-701501	.00	.00	5,000.00	5,000.00	.0
510-0000-702100	.00	.00	20,000.00	20,000.00	.0
510-0000-702300	810.90	5,060.08	20,000.00	14,939.92	25.3
510-0000-702900	25.80	167.69	5,000.00	4,832.31	3.4
510-0000-754010	497.72	2,084.17	3,500.00	1,415.83	59.6
510-0000-754020	3,469.94	22,513.75	75,000.00	52,486.25	30.0
510-0000-791000	.00	38.65	7,500.00	7,461.35	.5
510-0000-792500	492.42	12,231.09	13,000.00	768.91	94.1
510-0000-795500	5,715.00	35,698.66	75,000.00	39,301.34	47.6
510-0000-796500	101.43	149.48	1,300.00	1,150.52	11.5
510-0000-800100	.00	66,305.53	140,621.00	74,315.47	47.2
510-0000-815101	.00	.00	5,000.00	5,000.00	.0
510-0000-815109	15,100.20	255,495.24	300,000.00	44,504.76	85.2
510-0000-815209	.00	259.00	3,500.00	3,241.00	7.4
510-0000-816100	.00	.00	4,000.00	4,000.00	.0
510-0000-900000	.00	.00	152,178.00	152,178.00	.0
TOTAL SEWER EXPENSES	40,518.84	530,684.50	1,170,304.06	639,619.56	45.4
TOTAL FUND EXPENDITURES	40,518.84	530,684.50	1,170,304.06	639,619.56	45.4
NET REVENUE OVER EXPENDITURES	42,615.65	(31,377.29)	(313,137.48)	(281,760.19)	(10.0)

TOWN OF PATTEVILLE
BALANCE SHEET
JUNE 30, 2024

WATER FUND

ASSETS

520-0000-100010	ALLOCATED CASH WATER	195,616.50	
520-0000-106300	COLOTRUST-WATER	1,505,511.64	
520-0000-106310	COLOTRUST-WATER INVESTMENT FEE	381,317.77	
520-0000-125000	EQUIPMENT	342,785.98	
520-0000-130000	LAND	28,537.57	
520-0000-157000	WATER SYSTEM	3,032,323.35	
520-0000-157001	WATER RIGHTS	4,244,087.00	
520-0000-157100	WATER SYSTEM ENHANCEMENT	432,500.00	
520-0000-170000	ACCUMULATED DEPRECIATION-EQUIP	(307,974.00)	
520-0000-170001	ACCUMULATED DEPRECIATION-SYST	(1,713,305.00)	
520-0000-180000	A/R BILLING	139,883.66	
520-0000-187000	PREPAID EXPENSES	1,612.21	
520-0000-199100	DEF OUTFLOWS PENSION-PERA	34,116.00	
520-0000-199101	DEF OUTFLOWS PENSION-PERA OPEB	1,140.00	
	TOTAL ASSETS		8,318,152.68

LIABILITIES AND EQUITY

LIABILITIES

520-0000-211200	ACCRUED WAGES	3,360.00	
520-0000-211651	ACCRUED COMPENSATED ABSENCES	3,260.00	
520-0000-211700	NET PENSION LIABILITY	63,847.00	
520-0000-221000	DEF INFLOWS PENSION-PERA	1,057.00	
520-0000-221001	DEF INTFLOWS PENSION-PERA OPEB	1,543.00	
520-0000-221100	NET OPEB LIABILITY-PERA OPEB	4,191.00	
	TOTAL LIABILITIES		77,258.00

FUND EQUITY

520-0000-300000	FUND BALANCE	7,997,783.58	
	REVENUE OVER EXPENDITURES - YTD	243,111.10	
	TOTAL FUND EQUITY		8,240,894.68
	TOTAL LIABILITIES AND EQUITY		8,318,152.68

TOWN OF PATTEVILLE
REVENUES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

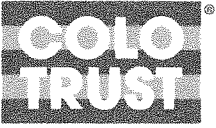
WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>WATER REVENUES</u>					
520-0000-441000 ADMINISTRATIVE FEE	333.33	1,999.98	.00	(1,999.98)	.0
520-0000-441500 UPKEEP CHARGE	56,944.69	341,274.44	660,234.78	318,960.34	51.7
520-0000-441501 CONSUMPTION	67,113.80	194,970.30	572,019.00	377,048.70	34.1
520-0000-441502 UTILITY BILL PENALTIES/INTERES	40.00	320.00	.00	(320.00)	.0
520-0000-443500 METER/YOKE FEE	.00	808.30	1,000.00	191.70	80.8
520-0000-446000 INVESTMENT FEES	.00	8,271.06	3,300.00	(4,971.06)	250.6
TOTAL WATER REVENUES	124,431.82	547,644.08	1,236,553.78	688,909.70	44.3
<u>OTHER REVENUE</u>					
520-0000-490000 EARNINGS ON INVESTMENTS	8,342.51	50,534.87	25,000.00	(25,534.87)	202.1
520-0000-491000 MISC REVENUE	.00	15,360.00	.00	(15,360.00)	.0
TOTAL OTHER REVENUE	8,342.51	65,894.87	25,000.00	(40,894.87)	263.6
TOTAL FUND REVENUE	132,774.33	613,538.95	1,261,553.78	648,014.83	48.6

TOWN OF PATTEVILLE
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 6 MONTHS ENDING JUNE 30, 2024

WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>WATER EXPENSES</u>					
520-0000-611000	4,220.51	40,302.57	112,761.01	72,458.44	35.7
520-0000-618000	62.39	609.20	1,964.86	1,355.66	31.0
520-0000-618002	618.24	5,933.12	16,034.62	10,101.50	37.0
520-0000-618003	.00	.00	2,250.00	2,250.00	.0
520-0000-618004	522.49	4,916.10	26,667.29	21,751.19	18.4
520-0000-619000	.00	1,250.97	2,366.50	1,115.53	52.9
520-0000-651500	.00	.00	500.00	500.00	.0
520-0000-652500	.00	17,567.73	.00	(17,567.73)	.0
520-0000-652501	49,329.39	167,230.42	582,721.00	415,490.58	28.7
520-0000-652900	80.82	421.19	1,000.00	578.81	42.1
520-0000-653000	495.00	537.50	850.00	312.50	63.2
520-0000-653800	546.72	2,824.14	7,500.00	4,675.86	37.7
520-0000-653900	.00	11,111.10	30,081.74	18,970.64	36.9
520-0000-654400	49.97	529.21	2,500.00	1,970.79	21.2
520-0000-654430	1,773.22	9,153.52	18,500.00	9,346.48	49.5
520-0000-654440	.00	.00	5,000.00	5,000.00	.0
520-0000-654610	.00	.00	1,300.00	1,300.00	.0
520-0000-656901	.00	7,610.40	58,000.00	50,389.60	13.1
520-0000-657000	.00	416.01	25,000.00	24,583.99	1.7
520-0000-657110	4,166.67	25,000.02	50,000.00	24,999.98	50.0
520-0000-671000	.00	386.39	800.00	413.61	48.3
520-0000-701050	6,575.18	39,451.08	78,902.15	39,451.07	50.0
520-0000-701100	.00	3,312.50	5,500.00	2,187.50	60.2
520-0000-701110	.00	458.42	5,000.00	4,541.58	9.2
520-0000-701501	.00	.00	5,000.00	5,000.00	.0
520-0000-702100	.00	6,119.59	10,000.00	3,880.41	61.2
520-0000-702300	259.20	2,131.20	5,000.00	2,868.80	42.6
520-0000-702900	25.80	1,006.72	7,000.00	5,993.28	14.4
520-0000-754010	266.61	1,049.41	2,500.00	1,450.59	42.0
520-0000-754020	3.57	1,166.95	14,000.00	12,833.05	8.3
520-0000-791000	.00	.00	2,000.00	2,000.00	.0
520-0000-792500	302.18	402.79	4,000.00	3,597.21	10.1
520-0000-795500	17,038.92	18,906.42	50,000.00	31,093.58	37.8
520-0000-796500	54.00	364.18	1,500.00	1,135.82	24.3
520-0000-815109	.00	.00	120,000.00	120,000.00	.0
520-0000-815204	.00	.00	2,000.00	2,000.00	.0
520-0000-815208	.00	.00	1,000.00	1,000.00	.0
520-0000-815209	.00	259.00	3,500.00	3,241.00	7.4
TOTAL WATER EXPENSES	86,390.88	370,427.85	1,262,699.17	892,271.32	29.3
TOTAL FUND EXPENDITURES	86,390.88	370,427.85	1,262,699.17	892,271.32	29.3
NET REVENUE OVER EXPENDITURES	46,383.45	243,111.10	(1,145.39)	(244,256.49)	21225.



Summary Statement

June 30, 2024

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Investor ID: CO-01-0599

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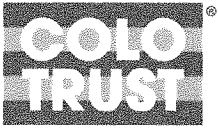
Town of Platteville
400 Grand Avenue
Platteville, CO 80651-0070

COLOTRUST

Table with columns: Account ID, Description, Beginning Balance, Contributions, Withdrawals, Income Earned, Income Earned YTD, Average Daily Balance, Month End Balance. Includes rows for PUBLIC IMP ESCROW, PARK IMPACT FEE, ROAD MAINTENANCE, TRANSPORTATION IMP, DOWNTOWN REVITALIZATION, and STORM DRAINAGE IMPAC.

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Summary Statement

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Investor ID: CO-01-0599

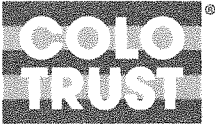
Town of Platteville
400 Grand Avenue
Platteville, CO 80651-0070

PLUS+ - (continued)

		Beginning Balance	Contributions	Withdrawals	Income Earned	Income Earned YTD	Average Daily Balance	Month End Balance
CO-01-0599-8007	WATER INVESTMENT	379,631.78	0.00	0.00	1,685.99	10,212.79	380,525.08	381,317.77
CO-01-0599-8008	SEWER INVESTMENT	506,844.87	0.00	0.00	2,250.94	13,635.13	508,037.50	509,095.81
CO-01-0599-8009	GENERAL FUND	827,878.22	1,000,000.00	0.00	5,154.65	34,604.63	1,196,793.16	1,833,032.87
CO-01-0599-8010	SEWER FUND	2,538,017.54	0.00	0.00	11,271.53	68,277.47	2,543,989.58	2,549,289.07
CO-01-0599-8011	WATER FUND	1,498,855.12	0.00	0.00	6,656.52	40,322.08	1,502,381.98	1,505,511.64
CO-01-0599-8012	LIBRARY FUND	111,064.70	0.00	0.00	493.26	2,987.92	111,326.05	111,557.96
CO-01-0599-8013	MAUSOLEUM ACCOUNT	0.00	0.00	0.00	0.00	0.00	0.00	0.00

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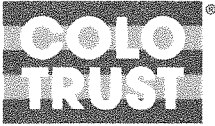
Town of Platteville
 400 Grand Avenue
 Platteville, CO 80651-0070

PLUS+ - (continued)

		Beginning Balance	Contributions	Withdrawals	Income Earned	Income Earned YTD	Average Daily Balance	Month End Balance
CO-01-0599-8015	CONSERVATION TRUST	79,544.27	0.00	0.00	353.25	2,139.86	79,731.43	79,897.52
CO-01-0599-8016	USE TAX FUND	186,510.83	0.00	0.00	828.29	5,017.48	186,949.69	187,339.12
CO-01-0599-8017	LAW ENFORCEMENT FUND	187,277.11	0.00	0.00	831.74	5,038.15	187,717.80	188,108.85
CO-01-0599-8018	POLICE STATION RESERVE	1,089,116.36	0.00	0.00	4,836.84	29,299.35	1,091,679.08	1,093,953.20
CO-01-0599-8019	SEWER LAGOON RESERVE	112,951.26	0.00	0.00	501.62	3,038.60	113,217.04	113,452.88
CO-01-0599-8020	VETERANS MEMORIAL	0.00	0.00	0.00	0.00	0.00	0.00	0.00
CO-01-0599-8021	HARVEST DAZE	434.17	0.00	0.00	1.86	11.23	435.16	436.03

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Summary Statement

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Investor ID: CO-01-0599

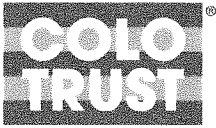
Town of Platteville
 400 Grand Avenue
 Platteville, CO 80651-0070

PLUS+ - (continued)

		Beginning Balance	Contributions	Withdrawals	Income Earned	Income Earned YTD	Average Daily Balance	Month End Balance
CO-01-0599-8022	CEMETERY OPERATING	82,803.29	0.00	0.00	367.72	2,227.50	82,998.12	83,171.01
CO-01-0599-8023	PUBLIC WORKS RESERVE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
CO-01-0599-8024	CEMETERY SHELTER	0.00	0.00	0.00	0.00	0.00	0.00	0.00
CO-01-0599-8025	DEVELOPMENT ESCROW	18,846.97	0.00	0.00	83.71	507.03	18,891.32	18,930.68
CO-01-0599-8026	OVERSIZE/OVERWEIGHT FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00
CO-01-0599-8027	Capital Improvement Fund	423,004.70	0.00	0.00	1,878.59	11,379.71	424,000.04	424,883.29
CO-01-0599-8028	Sidewalk Maintenance	0.00	0.00	0.00	0.00	0.00	0.00	0.00

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Summary Statement

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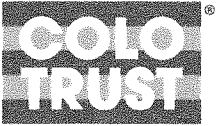
Town of Platteville
400 Grand Avenue
Platteville, CO 80651-0070

PLUS+ - (continued)

		Beginning Balance	Contributions	Withdrawals	Income Earned	Income Earned YTD	Average Daily Balance	Month End Balance
CO-01-0599-8029	Perpetual Care	147,676.47	0.00	0.00	655.84	3,972.74	148,023.95	148,332.31
CO-01-0599-8030	POLICE IMPACT FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00
CO-01-0599-8031	PUBLIC FACILITIES FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00
CO-01-0599-8032	GILCREST LIBRARY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
CO-01-0599-8033	SENIOR ORGANIZATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL		10,182,067.95	1,000,000.00	0.00	46,697.24	286,249.78	10,572,993.60	11,228,765.19

Tel: (877) 311-0219

<https://www.colotrust.com/>



Summary Statement

June 30, 2024

Page 6 of 29

Investor ID: CO-01-0599

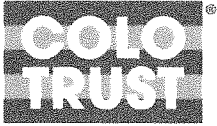
Town of Platteville
400 Grand Avenue
Platteville, CO 80651-0070

PRIME Average Monthly Yield: 5.2486%

	Beginning Balance	Contributions	Withdrawals	Income Earned	Income Earned YTD	Average Daily Balance	Month End Balance
CO-01-0599-1907 GENERAL FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00
CO-01-0599-2973 SEWER FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Tel: (877) 311-0219

<https://www.colotrust.com/>



Summary Statement

June 30, 2024

Page 7 of 29

Investor ID: CO-01-0599

Town of Platteville
400 Grand Avenue
Platteville, CO 80651-0070

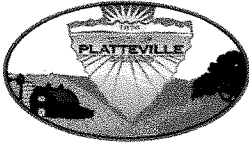
EDGE

Monthly Distribution Yield: 5.3791%

		Beginning Balance	Contributions	Withdrawals	Income Earned	Income Earned YTD	Average Daily Balance	Month End Balance
CO-01-0599-E001	Platteville Library	3,174,087.48	0.00	0.00	13,996.12	84,859.07	3,176,442.19	3,188,083.60
CO-01-0599-E002	Gilcrest Library	362,974.52	0.00	0.00	1,600.53	9,704.10	363,243.79	364,575.05
TOTAL		3,537,062.00	0.00	0.00	15,596.65	94,563.17	3,539,686.98	3,552,658.65

Tel: (877) 311-0219

<https://www.colotrust.com/>



Agenda Item Cover Sheet

MEETING DATE: July 16, 2024

AGENDA ITEM: Resolution 2024-15 Platte View Annexation Petition

DEPARTMENT: Administration & Planning

PRESENTED BY: Troy Renken, Town Manager

SUMMARY

The owners of a 28-acre parcel located at the northwest corner of SH66 & CR19 are petitioning the Town for annexation. The property name for annexation is called Platte View and the owners intend to develop the property into an industrial subdivision consisting of approximately 7-9 lots ranging from 2.5 to 4 acres in size. The Board is being asked to accept this annexation petition and establish a public hearing date for Tuesday, September 3rd, 2024 to formalize the annexation.

Since this annexation proposal and development will also be presented to the Planning Commission on September 3rd, 2024 for zoning consideration this information is being sent to the PC for preliminary review.

FINANCIAL CONSIDERATIONS

Potential future development revenues from impact fees, system investment fees, use tax and property taxes.

RECOMMENDED ACTION

Move to approve RESOLUTION NO. 2024-15, A RESOLUTION ACCEPTING THE PETITION FOR ANNEXATION AND ESTABLISHING SEPTEMBER 3, 2024 AS THE DATE OF PUBLIC HEARING ON THE REQUESTED ANNEXATION OF A PARCEL OF UNINCORPORATED TERRITORY LOCATED IN THE COUNTY OF WELD, KNOWN AS THE PLATTE VIEW ANNEXATION.

ATTACHMENTS

Resolution 2024-15
Petition for Annexation
Property Map Exhibits

**TOWN OF PLATTEVILLE
BOARD OF TRUSTEES
RESOLUTION NO. 2024-15**

**A RESOLUTION ACCEPTING THE PETITION FOR ANNEXATION
AND ESTABLISHING SEPTEMBER 3, 2024 AS THE DATE OF PUBLIC
HEARING ON THE REQUESTED ANNEXATION OF A PARCEL OF
UNINCORPORATED TERRITORY LOCATED IN THE COUNTY OF
WELD, KNOWN AS THE PLATTE VIEW ANNEXATION**

WHEREAS, Scott and Laurel Farrell, the owners of unincorporated territory comprising 100% of the area proposed for annexation pursuant to C.R.S. § 31-12-107, has filed a petition for annexation (the "Petition") of certain unincorporated land to the Town, which land is more particularly described in **Exhibit A** attached to the Petition;

WHEREAS, pursuant to C.R.S. § 31-12-108, the Town may accept the Petition, if complete, and establish a date, time and place that the Board of Trustees will hold a public hearing to consider the annexation and the applicable requirements of the Municipal Annexation Act of 1965, C.R.S. § 31-12-101, *et seq.*; and

WHEREAS, the Board of Trustees, at its regular meeting on July 16, 2024, reviewed the Petition and various documents submitted in support of the Petition.

**NOW BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF
PLATTEVILLE, COLORADO, THAT:**

Section 1. The Petition is hereby accepted and found to be in substantial compliance with the Municipal Annexation Act of 1965, C.R.S. § 31-12-101, *et seq.*

Section 2. A public hearing is scheduled for Tuesday September 3, 2024, at 7:00 p.m., at the Platteville Town Hall, 400 Grand Avenue, Platteville, Colorado 80651, to determine if the proposed annexation complies with the Municipal Annexation Act of 1965, C.R.S. § 31-12-101, *et seq.*, and the Constitution of the State of Colorado, Article II, Section 30, as amended.

Section 3. Any person living within the area proposed to be annexed, any landowner of lands thereof, any resident of the Town, any municipality located within one mile of the proposed annexation, or the Board of County Commissioners of Weld County may appear at such hearing and present evidence upon any matter to be determined by the Board of Trustees.

ADOPTED this 16th day of July, 2024.

Mike Cowper, Mayor

ATTEST:

Danette Schlegel, Town Clerk

PLATTE VIEW ANNEXATION
EXHIBIT A

A parcel of land, being a portion of Lot A, Recorded Exemption No. 1209-21-4 RECX19-0002 as recorded July 2, 2021 as Reception No. 4732018 of the Weld County Clerk & Recorder (WCCR), situate in the Southeast Quarter (SE1/4) of Section Twenty-one (21), Township Three North (T.3N.), Range Sixty-seven West (R.67W.) of the Sixth Principal Meridian (6th P.M.), County of Weld, State of Colorado and being more particularly described as follows:

COMMENCING at the Southeast corner of said Section 21 and assuming the South line of said SE1/4 as bearing South 89°58'29" East, being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2011, a distance of 2600.34 feet and with all other bearings contained herein relative thereto;

THENCE North 12°14'27" West a distance of 153.53 feet to the Southeast corner of said Lot A and to the North line of the Highway No. 66 Annexation #7, as recorded November 14, 2017 as Reception No. 4352185 of the WCCR and to the POINT OF BEGINNING;

Thence along said North line the following three courses and along the South, West, North lines of Lot A and an extension thereof the following seven courses:

THENCE South 56°28'02" West a distance of 72.39 feet;

THENCE South 87°58'48" West a distance of 700.45 feet;

THENCE South 78°15'22" West a distance of 101.54 feet to the Northeast line of the 8677 Highway 66 Annexation as recorded April 21, 2021 as Reception No. 4706895 of the WCCR;

Thence along said Northeast line and an extension thereof the following two courses:

THENCE North 19°08'29" West a distance of 221.74 feet;

THENCE North 44°48'29" West a distance of 471.90 feet;

THENCE North 00°41'31" East a distance of 546.70 feet;

THENCE North 89°01'40" East a distance of 1241.20 feet to the West Right of Way line of Weld County Road 19; THENCE South 00°58'20" East, along said West line, a distance of 1026.80 feet to the POINT OF BEGINNING.

Said described parcel of land contains 1,221,742 Square Feet or 28.047 Acres, more or less (±).

PETITION FOR ANNEXATION

TO: BOARD OF TRUSTEES OF THE TOWN OF PLATTEVILLE, COLORADO

RE: PROPERTY KNOWN AS: Platte View Commerce Subdivision

The undersigned landowners, in accordance with Title 31, Article 12, Part 1, C.R.S., known as the Municipal Annexation Act of 1965, hereby petition the Town of Platteville, Colorado (the "Town"), for annexation to the Town of the following described unincorporated area situate and being in the County of Weld, State of Colorado (the "Property"):

(See **Exhibit A** attached hereto and incorporated herein by reference)

In support of their Petition, Petitioners state as follows:

1. That it is desirable and necessary that the Property be annexed to the Town of Platteville, Colorado.
2. That the Property meets the requirements of C.R.S. §§ 31-12-104 and 105, in that:
 - a. Not less than 1/6 of the perimeter of the Property is contiguous with the existing boundaries of the Town, disregarding for contiguity purposes, as allowed by C.R.S. § 31-12-104(1)(a), the existence of any platted street or alley, any public or private right-of-way, any public or private transportation right-of-way or area, public lands (except county-owned open space) or any lakes, reservoirs, streams or other natural or artificial waterways located between the Town and the Property. The contiguity required by C.R.S. § 31-12-104(1)(a) has not been established by use of any boundary of an area that was previously annexed to the Town where the area, at the time of its annexation, was not contiguous at any point with the boundary of the Town, and was not otherwise in compliance with C.R.S. § 31-12-104(1)(a), and was located more than three miles from the nearest boundary of the Town, nor was the contiguity required by C.R.S. § 31-12-104(1)(a) established by use of any boundary of territory that was subsequently annexed directly to, or which was indirectly connected through, subsequent annexations of such an area.
 - b. The proposed annexation will not create any disconnected municipal satellites.
 - c. A community of interest exists between the Property and the Town.
 - d. The Property is urban or will be urbanized in the near future, and said area is integrated or is capable of being integrated with the Town.
 - e. No land held in identical ownership, whether consisting of one tract or parcel of real estate or two or more contiguous tracts or parcels of real estate:

- i. Is divided into separate parts or parcels without the written consent of the landowner or landowners thereof, unless such tracts or parcels are separated by a dedicated street, road, or other public way.
 - ii. Comprising 20 acres or more and which, together with the buildings and improvements situated thereon, has a valuation for assessment in excess of \$200,000 for ad valorem tax purposes for the year next preceding the annexation is included within the Property without the written consent of the landowner(s) unless such tract of land is situated entirely within the outer boundaries of the Town as they exist at the time of annexation.
 - f. No annexation proceedings have been commenced for the annexation to another municipality of part or all of the Property.
 - g. The annexation of the Property will not result in the detachment of area from any school district and the attachment of same to another school district, unless accompanied by a resolution of the board of directors of the school district to which such area will be attached approving such annexation.
 - h. The annexation of the Property will not have the effect of extending the boundary of the Town more than three miles in any direction from any point of the Town's boundary in any one year.
 - i. If a portion of a platted street or alley is to be annexed, the entire width of said street or alley is included within the Property.
 - j. Reasonable access will not be denied to landowners, owners of easements or the owners of franchises adjoining any platted street or alley to be annexed that will not be bordered on both sides by the Town.
3. That attached hereto and incorporated herein by reference are five prints of a black ink or Mylar annexation map, prepared, stamped and signed by a professional engineer or land surveyor registered in the State, containing the following information:
- a. A written legal description of the boundaries of the Property.
 - b. A map showing the boundary of the Property.
 - c. Within the annexation boundary map, a showing of the location of each ownership tract of unplatted land, and, with respect to any area which is platted, the boundaries and the plat numbers of plots or lots and blocks.
 - d. Next to the boundary of the Property, a drawing of the contiguous boundary of the Town and the contiguous boundary of any other municipality abutting the Property.
 - e. The physical relationship of the Property to the existing corporate limits of the Town.

- f. Boundaries of special districts, if any, having jurisdiction over the Property.
 - g. The location and width of existing street and utility easements within or adjacent to the Property.
 - h. The location and site of the nearest existing utility lines.
 - i. Existing development within the Property, and the current source of water, sanitary sewer and storm drainage service for such development.
 - j. Proposed zoning of the Property and exact boundaries of zoning districts if more than one district is proposed.
 - k. Date, scale and north sign.
4. That Petitioners are the landowners of more than 50% of the Property, exclusive of streets and alleys.
5. That all Petitioners signed this Petition no more than 180 days prior to the date of the filing of this Petition.
6. That this Petition satisfies the requirements of Article II, § 30 of the Colorado Constitution in that it is signed by persons comprising more than 50% of the landowners of the Property who own more than 50% of the Property, excluding public streets and alleys and any land owned by the Town.
7. That no election has been held within the last 12 months for annexation of the Property to the Town.
8. That upon the effective date of the ordinance annexing the Property to the Town, the entire Property shall become subject to the ordinances, resolutions, rules and regulations of the Town, except for general property taxes which shall become effective on January 1 of the next year following passage of the annexation ordinance.
9. That attached hereto and incorporated herein are the following:
- a. Evidence of fee ownership of each separately owned parcel of the Property, consisting of a commitment for or a title insurance policy, an attorney's written title opinion, a subdivision certificate or a written ownership and encumbrance report, effective as of a date not later than 30 days before the date of filing.
 - b. A legal description of water and ditch rights appurtenant to the Property, identified to each ownership parcel.
 - c. Evidence that the Property is within the established Town three-mile planning area or evidence that the Town is willing to extend the Town boundaries beyond the established three-mile planning area as specified in C.R.S. § 31-12-105(1)(e).

d. Evidence that Petitioners are authorized on behalf of the corporation, partnership or joint venture owning the Property, to execute all documentation related to this Petition.

10. That, by the date that is 90 days after the effective date of the annexation ordinance, the Property shall be brought under the Town's zoning code and map.

11. That Petitioners agree to reimburse the Town for all costs and expenses incurred by the Town in reviewing and processing this Petition, as provided by and pursuant to § 15-1-110 of the Platteville Municipal Code.

12. That Petitioners have not requested from any government entity review of a site specific development plan that would vest Petitioners with the property rights contemplated in C.R.S. § 24-68-101, *et seq.*, and that Petitioners hereby waive any vested property rights for the Property resulting from any prior approval of any site specific development plan as defined in C.R.S. § 24-68-101, *et seq.*

13. That this Petition and the annexation of the Property are specifically conditioned on the negotiation and execution by Petitioners and the Town of a mutually acceptable annexation agreement.

14. That Petitioners reserve the right to withdraw this Petition at any time prior to the adoption of an annexation ordinance.

[SIGNATURE PAGES TO FOLLOW]

WHEREFORE, the undersigned Petitioners respectfully request that the Board of Trustees approve the annexation of the Property to the Town.

PETITIONERS:

 Scott S. Farrell
 5102 Lake Terrace Lane
 Firestone, CO 80504

COLORADO)
) ss.
 COUNTY OF Weld)

Subscribed, sworn to and acknowledged before me this 14 day of June, 2024, by Scott S. Farrell.

My Commission expires 2/23/2025.

(SEAL)

 Notary Public

STEPHANIE LYNN NIX
 Notary Public
 State of Colorado
 Notary ID # 20214007424
 My Commission Expires 02-23-2025

 Laurel J. Farrell
 5102 Lake Terrace Lane
 Firestone, CO 80504

COLORADO)
) ss.
 COUNTY OF Weld)

Subscribed, sworn to and acknowledged before me this 14 day of June, 2024, by Laurel J. Farrell.

My Commission expires 2/23/2025.

(SEAL)

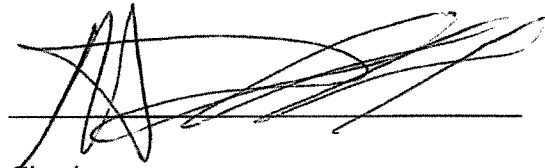
 Notary Public

STEPHANIE LYNN NIX
 Notary Public
 State of Colorado
 Notary ID # 20214007424
 My Commission Expires 02-23-2025

AFFIDAVIT OF CIRCULATOR

The undersigned, being of lawful age, being first duly sworn upon oath, deposes and says:

That he or she was the circulator of the foregoing Petition for Annexation of lands to the Town of Platteville, Colorado, consisting of 7 pages including this page, and that each signature thereon was witnessed by the affiant and is the true signature of the person whose name it purports to be.

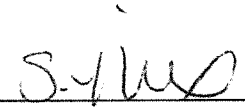

Circulator

STATE OF COLORADO)
) ss.
COUNTY OF Weld)

Subscribed, sworn to and acknowledged before me this 14 day of June, 2024, by Michael McDermel

My Commission expires 2/23/2025.

(SEAL)


Notary Public

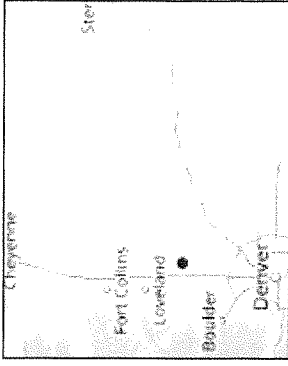
STEPHANIE LYNN NIX
Notary Public
State of Colorado
Notary ID # 20214007424
My Commission Expires 02-23-2025

Exhibit A




Lot A, Recorded Exemption No. 1209-21-4 RECX19-0002, Situate in the Southeast Quarter of Section 21, Township 3 North, Range 67 West of the 6th P.M., County of Weld, State of Colorado as recorded at reception no. 4732018 in the real property records of Weld County, Colorado.



1: 6,703



Legend

-  Parcels
-  Highway
-  County Boundary

Notes

1,117.1 0 558.56 1,117.1 Feet

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Olson Performance Team, LLC



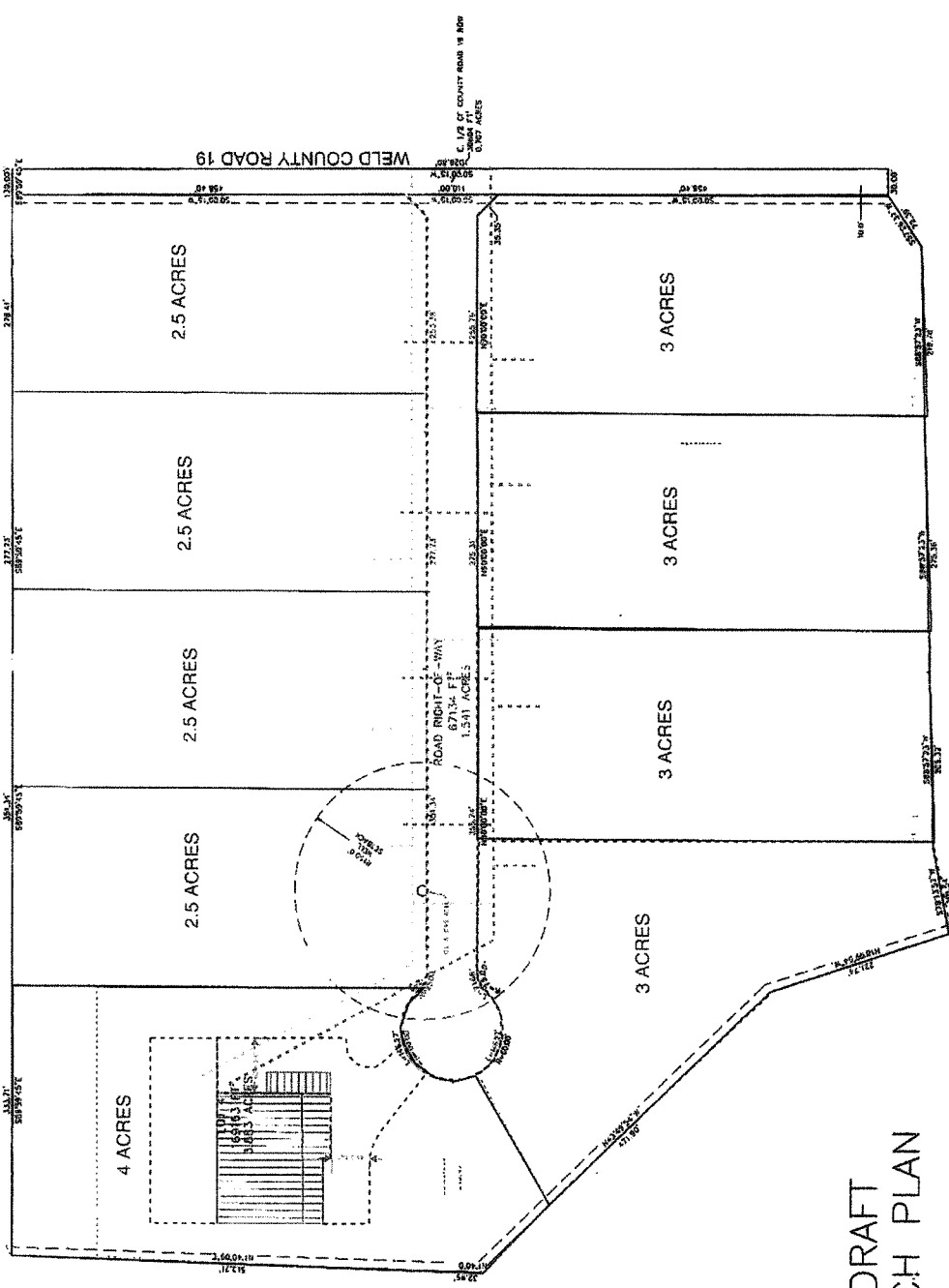
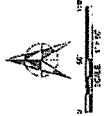
BAKER
CONSTRUCTORS
5000 14th Parkway, Fort Collins, CO 80504
(970) 226-3388

www.bakerco.com

Revision Schedule	
No.	Description
1	PRELIMINARY
2	REVISIONS
3	REVISIONS
4	REVISIONS
5	REVISIONS
6	REVISIONS
7	REVISIONS
8	REVISIONS
9	REVISIONS
10	REVISIONS
11	REVISIONS
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50	REVISIONS

PROJECT NO. 2012-001
SHEET NO. 1
DATE: 11/15/12

SITE PLAN
C-101
A



2ND DRAFT
SKETCH PLAN



Agenda Item Cover Sheet

MEETING DATE: July 16, 2024

AGENDA ITEM: Resolution 2024-16 L.G. Everist Final Development Plan

DEPARTMENT: Administration & Planning

PRESENTED BY: Troy Renken, Town Manager

SUMMARY

In 2020 the LG Everist Inc. company purchased the West Farm property located west of the South Platte River on the north and south sides of CR32.5 between the river and CR21. The property was acquired for the purpose of gravel mining and future water storage.

In 2021 LG Everist completed a Development Plan to modify the West Farm property to include five (5) lots and further completed a site plan and Final Development Plan for Lot 3 to construct a maintenance facility. During the past year LG Everist has obtained all State of Colorado permits to develop the property and is now requesting the Town Board of Trustees to approve the Final Development Plan for the remaining four lots at West Farm.

FINANCIAL CONSIDERATIONS

Potential sales tax once mining operations begin

RECOMMENDED ACTION

Move to approve RESOLUTION NO. 2024-16, A RESOLUTION OF THE BOARD OF TRUSTEES OF THE TOWN OF PLATTEVILLE APPROVING THE FINAL DEVELOPMENT PLAN FOR THE WEST FARM PROPERTY.

ATTACHMENTS

Resolution 2024-16
Staff Report
Exhibits

**TOWN OF PLATTEVILLE
BOARD OF TRUSTEES
RESOLUTION NO. 2024-16**

**A RESOLUTION OF THE BOARD OF TRUSTEES OF THE TOWN OF
PLATTEVILLE APPROVING THE FINAL DEVELOPMENT PLAN FOR
THE WEST FARM PROPERTY**

WHEREAS, LG Everist, Inc. (the "Applicant") has submitted an application (the "Application") for approval of a Final Development Plan (the "FDP") for the property more particularly described as Lots 1, 2, 4 and 5 LG Everist at West Farms Subdivision (the "Property");

WHEREAS, Town staff has reviewed the Application and found it to be in compliance with the Platteville Municipal Code (the "Code");

WHEREAS, on July 16, 2024, the Planning Commission held a properly-noticed public hearing on the Application, at which time Applicant and the public were provided with the opportunity to present evidence and testimony;

WHEREAS, also on July 16, 2024, the Board of Trustees held a properly-noticed public hearing on the Application, at which time Applicant and the public were provided with the opportunity to present evidence and testimony;

WHEREAS, the criteria to be considered by the Board of Trustees in review of a request for approval of an FDP are set forth in Section 16-5-60 of the Code; and

WHEREAS, based on the evidence and testimony presented at the public hearing and the recommendation of the Planning Commission, the Board of Trustees wishes to approve the Application.

**NOW BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF
PLATTEVILLE, COLORADO, THAT:**

Section 1. The Board of Trustees hereby finds that the Application meets all applicable requirements of the Code.

Section 2. The Board of Trustees hereby approves the Application subject to the following conditions:

a. Within 60 days of the date of this Resolution and prior to recording the FDP, the Applicant shall make minor technical and redline corrections as identified by Town staff.

b. Prior to commencement of mining activities, the Applicant shall amend the FDP to include the following:

i. Plant Area details including a site plan, grading plan, drainage plan;

ii. Drainage letter for the applicable site operations;

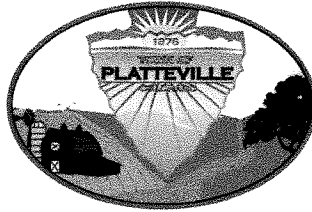
- iii. Colorado Department of Public Health and Environment ("CDPHE") Colorado Discharge Permit System – COG500000 – Sand and Gravel Mining Process and Stormwater Combined;
 - iv. All applicable CDPHE air quality permits;
 - v. Revised Traffic Impact Study to address on-site and off-site improvements required by the Town and the Colorado Department of Transportation;
 - vi. All necessary State, County and Town permits; and
 - vii. Provisions to address all emergency response requirements identified by the Platteville Gilcrest Fire Protection District, including road access and circulation.
- c. Prior to operation of the conveyor system over Weld County Road 32.5, the Applicant shall amend the FDP to include a site plan, grading plan, and drainage plan.
- d. The Applicant shall water and clean all public roadways used by truck traffic from the site.

ADOPTED this 16th day of July, 2024.

Mike Cowper, Mayor

ATTEST:

Danette Schlegel, Town Clerk



STAFF REPORT

DATE: July 16, 2024
TO: Board of Trustees
FROM: Melissa Kendrick, Town Planner
SUBJECT: **LG Everist at West Farms – Final Development Plan**

Applicant: Matthew Noteboom, L.G. Everist, Inc.
Location: WCR 32.5 and WCR 21
Purpose: The purpose of the application is to consider sand and gravel mining which will be reclaimed as lined water storage.

Planning Commission

The Planning Commission will review the application and make a recommendation on July 16 prior to the Board of Trustee meeting. Staff will present the findings and recommendations at the Board's hearing.

Location

The property is located on the south side of the WCR 32.5 and east of WCR 21 in Section 14, Township 3 North, Range 67 West in Platteville, CO.

Proposal

The property is zoned the LG Everist at West Farms PD for a sand and gravel mine with ancillary operations including maintenance facilities and related offices. The property is 572 acres platted as LG Everist at West Farms subdivision, Lots 1, 2, 4 and 5. In March of 2021, a Final Development Plan (FDP) was approved for Lot 3 allowing the maintenance facility to be constructed for the mining operations. When the property was subdivided in 2020, Lot 6 was dedicated to the Town of Platteville for open space purposes.

The approved use of the site is primarily for a sand and gravel mining operation, which will be reclaimed as lined water storage reservoirs. The mining operation will require having a processing plant for the sand and gravel. The applicant proposes having concrete and asphalt batch plants, as well as concrete and asphalt recycling portable plants, as accessory uses during the years of mining operations. At the time of this FDP proposal, the design of these features have not been finalized since the mining operations are not scheduled to begin for an estimated 3-8 years from now. In the interim, the property will continue to be used for agricultural purposes prior to mining operations commencing. Consequently, the details for the ancillary uses, such as the process plant, batch plants, and conveyor system, are proposed as conditions of approval listed later in this report.

The estimated life of the mine is 17-24 years and will be conducted in four phases with an additional 10-11 years for the reclamation of the site and close out of the permit. The actual number of years vary based upon the

available material and the market demand. The FDP map depicts the phasing and reclamation of the site. As mining is completed in each phase of the site, the area will be reclaimed as lined water storage reservoirs. During the operations, a conveyor system will be operated extending over CR 32.5. The design of this system will be required prior to its operation as a condition of approval.

The applicant has received approval from the Colorado Mined Land Reclamation Board (MLRB) for a Colorado Division of Reclamation, Mining and Safety (DRMS) 112 Reclamation Permit – West Farm Reservoirs, DRMS Permit M-2022-048 (approved 09/26/23). The required financial warranty is also in place. The information on the mining and reclamation plans contained in this application packet is an overview of information from the permit. A copy of the complete DRMS permit package is attached for all the details on the state mine permit.

Site Access

The primary site entrance is located at an existing private entrance road located on the east side of County Road 21 and approximately 1.37 miles north of Highway 66. Weld County owns and maintains CR 21 and CDOT owns and maintains SH 66. Consequently, both agencies were contacted through the referral process and requested a traffic impact study (TIS) be completed for the project. A TIS was completed and will become part of the file for this application and a condition of approval. Prior to commencement of mining activities, the TIS will need to be reviewed by Weld County and CDOT including all necessary access permits and site improvements.

The primary haul route for truck traffic to and from the site will use CR 21 south to HWY 66 then east or west to market. Some material for local deliveries will use CR 21 to the north, or CR 32.5 for local deliveries east of the river. As part of the PDP process, L.G. Everist completed improvements to CR 32.5 as required in 2021.

Buildings and Equipment

The mining operation will have a site office/scale-house and scale located near the primary site entrance in Phase 4 along County Road 21. The site office/scale-house will likely be a temporary building, such as a manufactured home. The applicant shall get any necessary building permits for the scale house prior to installation.

The Plant Area will be built on approximately 50.00 acres of Phase 4, located on the southeast corner of the intersection of CR 21 and CR 32.5. The plant area will be used throughout the life of the mine, as material will be conveyed or hauled to the plant from each mining phase. The Plant Area will contain the processing plant and stockpile area, equipment storage area, temporary overburden and topsoil piles, drying pads and other auxiliary uses needed at the mine. Processing equipment may include, but not be limited to, conveyors, crushers and screen plants. All of this equipment is not enclosed and would not be classified as a building. We have provided a Plant Area sketch as part of this application, showing the various uses and approximate size of those areas in the Plant Site area. As a condition of approval, the Plant Area will require a FDP amendment prior to commencement of mining activity.

Auxiliary uses in the plant area may include a Concrete Batch Plant, an Asphalt Batch Plant, and a construction aggregates recycling plant. By locating these other plants at the mine, it reduces or eliminates the hauling of raw material to each plant on public roads, and reduces the cost for the asphalt or concrete used in the community. If any of these plants are to be used on site, these plants would be temporary - just for the life of the mine. If needed, prior to construction, the applicant shall get any required building permits from the Town.

Employees

- Employees - 15-20 employees involved in mining operations
- Concrete and Asphalt batch plants – 3-6 persons
- Concrete and Asphalt recycling plants – 3-6 persons (intermittent use)

- Visitors may include - truck drivers, service contractors, company personnel from other sites, customers and others. The highest number of “visitors” will be truck drivers, coming on site for a truckload of materials and leaving to transport the materials elsewhere.

Proposed hours and days of operation

Mining and reclamation operations will be allowed to occur Monday through Saturday from 7 a.m. to 7 p.m. The hours of operation do not apply to the administrative and executive offices, or shop and repair facilities located on the property, or for necessary repairs and maintenance to equipment. Extended hours are allowed on a temporary basis in the case of public or private emergencies due to natural disasters or similar unforeseen circumstances.

Referral Process

The following agencies were notified with no comments:

- 1) Kendrick Consulting Inc., Melissa Kendrick, Town Planner
 - No outstanding concerns with application that haven’t been addressed as conditions of approval.
- 2) Northern Engineering, Brad Curtis, Town Engineer
 - No outstanding concerns with application that haven’t been addressed as conditions of approval.
- 3) Platteville Gilcrest Fire Protection District, Jeff Cogburn, Fire Marshal
 - No outstanding concerns with application that haven’t been addressed as conditions of approval.
- 4) Platteville Public Works, David Brand, Director
 - No outstanding concerns with application that haven’t been addressed as conditions of approval.
- 5) CDOT
 - Requested a traffic impact study that will be submitted to the State as part of the access permit requirements. The TIS will be amended as needed prior to commencement of the mining activity and part of the FDP amendment.
- 6) Weld County Long Range Planning
 - Requested a traffic impact study that will be submitted to the County as part of the access permit requirements. The TIS will be amended as needed prior to commencement of the mining activity and part of the FDP amendment.

FPD Approval Criteria

In reviewing an application for a Final Development Plan, the Planning Commission and the Board of Trustees shall consider the following:

Whether the FDP complies with the PDP and any applicable development and subdivision standards.

As detailed in this report, the proposal complies with the LG Everist at West Farms PD for a sand and gravel mine with ancillary operations including maintenance facilities and related offices. The proposed FDP is premature in many ways given the project is still 3-8 years out from commencing activities. The applicant recently received their mining permit from the DRMS and therefore wanted to proceed with the Town permitting process as part of their preparations. Town staff agreed to this approach with the requirement that prior to commencement of the mining activities, an FDP amendment will be required to address the outstanding issues detailed in the following conditions of approval.

Recommendation

Based upon findings within the staff report, the Planning Commission findings, staff recommends approval of the FDP application subject to the attached Resolution with the following conditions of approval:

1) Within 60 days of approval of the FDP by the Board of Trustees and prior to recording the FDP, the Applicant shall make minor technical and redline corrections as identified by Town staff.

2) Prior to commencement of mining activities, the Applicant shall amend the FDP to include the following:

- a. Plant Area details including a site plan, grading plan, drainage plan;
- b. Drainage letter for the applicable site operations;
- c. Colorado Department of Public Health and Environment ("CDPHE") Colorado Discharge Permit System – COG500000 – Sand and Gravel Mining Process and Stormwater Combined;
- d. All applicable CDPHE air quality permits;
- e. Revised Traffic Impact Study to address on-site and off-site improvements required by the Town and the Colorado Department of Transportation;
- f. All necessary State, County and Town permits; and
- g. Provisions to address all emergency response requirements identified by the Platteville Gilcrest Fire Protection District, including road access and circulation.

3) Prior to operation of the conveyor system over Weld County Road 32.5, the Applicant shall amend the FDP to include a site plan, grading plan, and drainage plan.

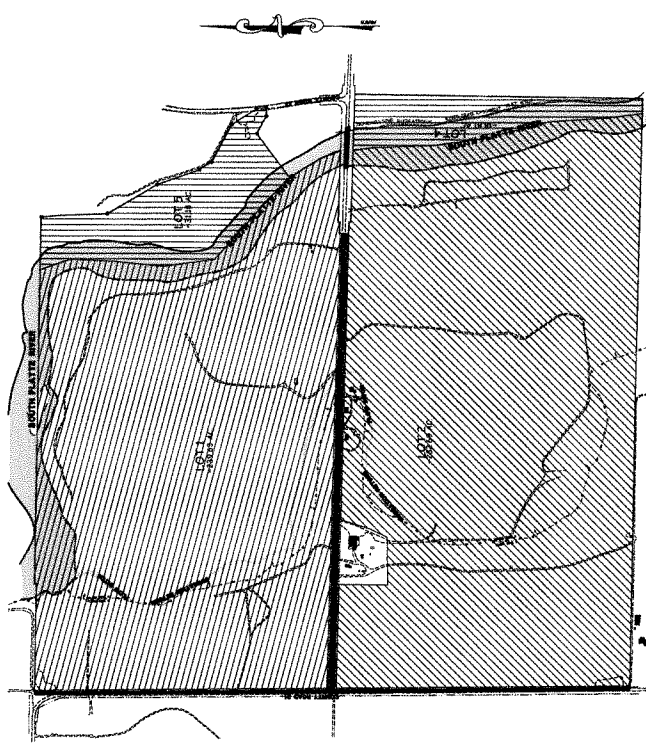
4) The Applicant shall water and clean all public roadways used by truck traffic from the site.

Attachment(s):

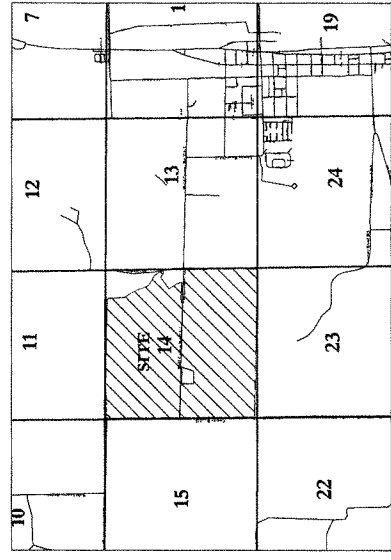
- Application
- FDP plan
- DRMS State Permit
- Referral Response Letters
- Resolution R071124

L.G. EVERIST AT WEST FARMS FINAL DEVELOPMENT PLAN

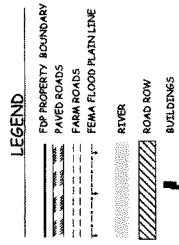
Lots 1, 2, 4, & 5, L.G. Everist at West Farms Subdivision
Sited in Section 14, Township 3 North, Range 67 West, of the 6th Principal Meridian,
Town of Platteville, County of Weld, State of Colorado
TBD - COUNTY ROAD 21, PLATTEVILLE, CO 80651



PROPERTY AREA MAP
SCALE 1"=50'



VICINITY MAP
SCALE 1"=500'



LEGEND: Existing utility lines shall be in compliance with Platteville Code, Section 16-2-31. Existing utilities shall be used for purposes of identification, security and safety, and illumination in areas of pedestrian circulation and vehicular traffic. Existing lighting fixtures and pole locations shall not be removed or replaced without the approval of the Board of Trustees. New lighting fixtures shall be installed in accordance with the standards set forth in the current edition of the Illumination Engineering Society Handbook. Existing utility lines shall be used for purposes of identification, security and safety, and illumination in areas of pedestrian circulation and vehicular traffic. Existing lighting fixtures and pole locations shall not be removed or replaced without the approval of the Board of Trustees. New lighting fixtures shall be installed in accordance with the standards set forth in the current edition of the Illumination Engineering Society Handbook.

NOTES: 1. The Board of Trustees shall be responsible for the design and construction of all utility lines. 2. The Board of Trustees shall be responsible for the design and construction of all utility lines. 3. The Board of Trustees shall be responsible for the design and construction of all utility lines.

PLANNING COMMISSION CERTIFICATE
This Plan approved by the Platteville Planning Commission this _____ day of _____, A.D. 20__.

CERTIFICATE OF APPROVAL BY THE BOARD OF TRUSTEES
Approved by the Board of Trustees of Platteville, Colorado _____ day of _____, A.D. 20__.

OWNERSHIP SIGNATURE BLOCK (NOT A PLAN)
I, the undersigned as the OWNER OR OWNER REPRESENTATIVE OF THE LANDS DESCRIBED IN THE ABOVE DEVELOPMENT PLAN, HEREBY CERTIFY THAT I AM THE OWNER OR OWNER REPRESENTATIVE OF THE LANDS DESCRIBED IN THE ABOVE DEVELOPMENT PLAN AND I HEREBY CERTIFY THAT I AM THE OWNER OR OWNER REPRESENTATIVE OF THE LANDS DESCRIBED IN THE ABOVE DEVELOPMENT PLAN AND I HEREBY CERTIFY THAT I AM THE OWNER OR OWNER REPRESENTATIVE OF THE LANDS DESCRIBED IN THE ABOVE DEVELOPMENT PLAN.

STATE OF COLORADO }
COUNTY OF ADAMS }
L.G. Everist, Inc. }
Witness by my hand and official seal
Notary Public: _____

DATE: 02/09/2024
DRAWN BY: L.S. SHOWN
CHECKED BY: LMS
PROJECT: ENV/ASO
SCALE: AS SHOWN
SHEET: WEST-FDP_TDP 4

L.G. Everist, Inc.
7321 East 88th Avenue | Henderson, Colorado 80640
Phone: (303) 287-1656 | Fax: (303) 299-1348



L.G. EVERIST AT WEST FARMS
FOR
LOTS 1, 2, 4, & 5 - FINAL MINE DEVELOPMENT PLAN

PREPARED BY: PLANNING INC.
1000 17th Street, Suite 200
Platteville, CO 80651
Phone: (303) 287-1656
Fax: (303) 299-1348

CLIENT AND ADDRESS:
L.G. EVERIST AT WEST FARMS
7321 EAST 88TH AVENUE
HENDERSON, CO 80640

EXHIBIT
1

L.G. EVERIST AT WEST FARMS PRE DEVELOPMENT MAP

Lots 1, 2, 4, & 5, L.G. Everist at West Farms Subdivision
 Situated in Section 14, Township 3 North, Range 67 West, of the 6th Principal Meridian,
 Town of Platteville, County of Weld, State of Colorado
TBD - COUNTY ROAD 21, PLATTEVILLE, CO 80651

DATE: 07/09/2024
 DRAWING: PRE-DEVELOPMENT MAP
 SHEET: AS SHOWN
 PROJECT: ENV/ALO
 CLIENT: LMS

L.G. Everist, Inc.
 7321 East 86th Avenue | Henderson, Colorado 80640
 Phone: (303) 287-4656 | Fax: (303) 288-1348

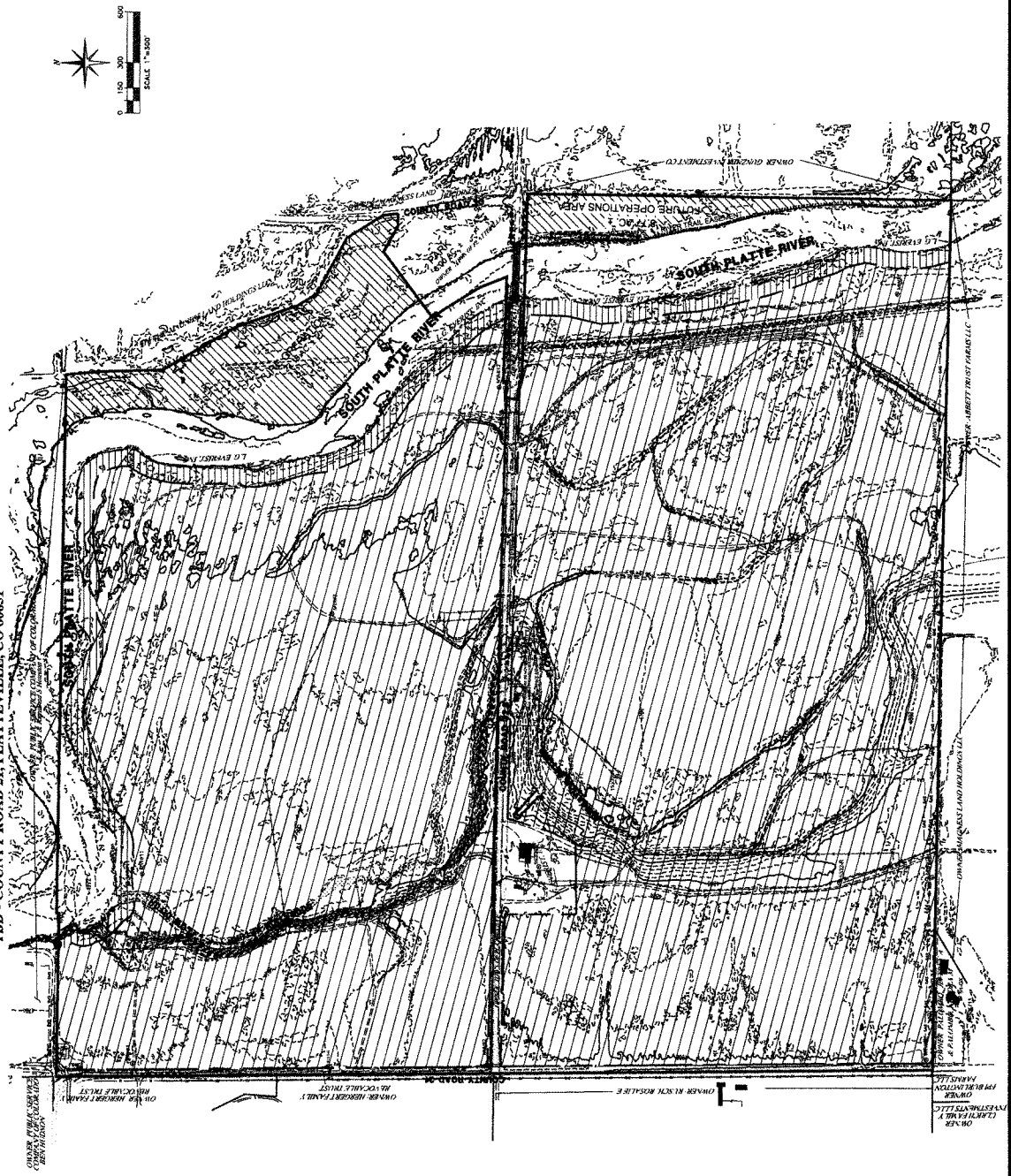


L.G. EVERIST AT WEST FARMS
 FOR
 PREPARED BY: ENVIRONMENTAL INC.
 1200 S. WYOMING
 DENVER, CO 80202
 PHONE: (303) 733-1200
 FAX: (303) 733-1201
 WWW: ENVIRONMENTALINC.COM

LOTS 1, 2, 4, & 5 - FINAL MINE DEVELOPMENT PLAN

CLIENTS AND REVIEWERS
 APPROVED BY: [Signature]
 DATE: 07/09/2024

EXHIBIT
2



LEGEND	
[Symbol]	FDP PROPERTY BOUNDARY
[Symbol]	MINING PERMIT BOUNDARY/AFFECTED LANDS
[Symbol]	COMMUNICATION LINES
[Symbol]	OVERHEAD POWER LINES
[Symbol]	FENCE
[Symbol]	ABANDONED RAILROAD GRADE
[Symbol]	WATER LINE
[Symbol]	IRRIGATION LINES
[Symbol]	FIBER OPTIC LINES
[Symbol]	GAS LINES
[Symbol]	PAVED ROADS (OFFSITE)
[Symbol]	ROADS (FARM, ACCESS) (M.P.)
[Symbol]	TOPO CONTOUR
[Symbol]	DITCH
[Symbol]	FLOOD PLAIN
[Symbol]	BUILDINGS
[Symbol]	MONITORING WELL
[Symbol]	WATER WELL

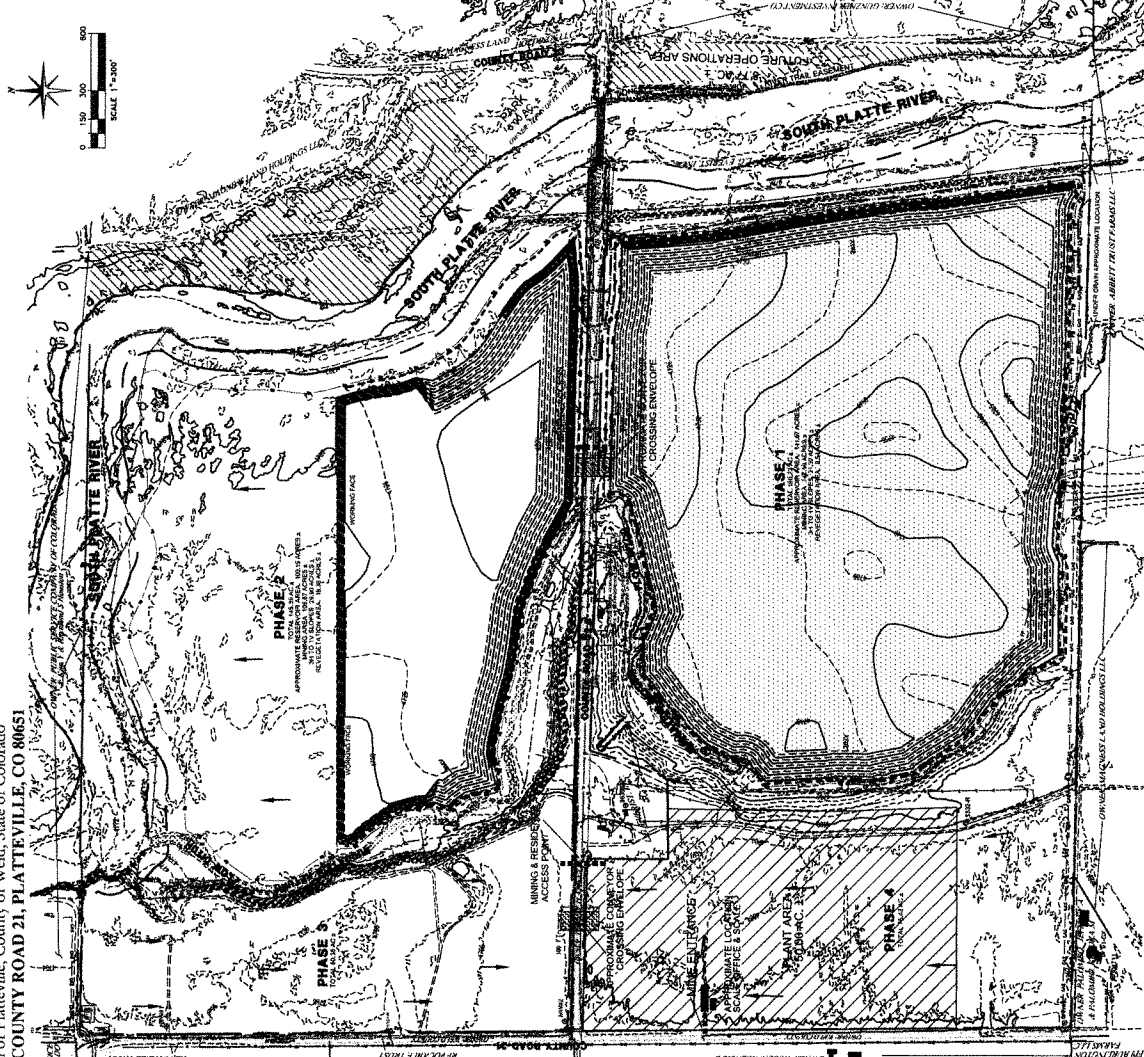
PROPOSED LAND USE LEGEND	
[Symbol]	MINING AREAS 487.60 ACRES ±
[Symbol]	PIPER AREA 47.73 ACRES ±
[Symbol]	IRRIGATION RETURN FLOW AREA 4.81 ACRES ±
[Symbol]	FUTURE OPERATIONS AREAS 31.06 ACRES ±
[Symbol]	BUFFER AREA 19.94 ACRES ±
[Symbol]	PUBLIC ROADWAYS 12.77 ACRES ±
[Symbol]	TOTAL ACRES 584.88 ACRES ±

L.G. EVERIST AT WEST FARMS MINING PLAN

LOTS 1, 2, 4, & 5, L.G. EVERIST AT WEST FARMS SUBDIVISION
Sited in Section 14, Township 3 North, Range 67 West, of the 6th Principal Meridian,
Town of Platteville, County of Weld, State of Colorado
TBD - COUNTY ROAD 21, PLATTEVILLE, CO 80651

LEGEND

FP	FLOOD PLAIN
SW	SLURRY WALL (PROPOSED)
14'	TOP OF MINING SLOPE
14'	MINING PHASE LINE
■	BUILDINGS
○	WATER WELL
→	ESTIMATED MINING DIRECTION
—	PUBLIC ROAD RIGHT OF WAY
■	RESERVOIR AREAS
■	BANK ARMORINGS (APPROXIMATE LOCATION)
■	TEMPORARY SOIL PILES (APPROX. LOCATIONS)
TT	MINING PERMIT BOUNDARY/AFFECTED LANDS
TT	COMMUNICATION LINES
DE	OVERHEAD POWER LINES
—	FENCE
—	ABANDONED RAILROAD GRADE
—	WATER LINE
—	IRRIGATION LINES
—	FIBER OPTIC LINES
—	GAS LINES
—	UNDERDRAIN (Approximate Location)
—	PAVED ROADS (OFFSITE)
—	ROADS (HAUL, ACCESS) (TYP.)
—	RIVER
—	DITCH



NOTES

- The base Planer shown on this map are the operations areas for the mining and/or reclamation activities that constitute the development of this property as a series of water storage reservoirs.
- Mining and reclamation will be done according to an approved plan of reclamation, safety (DNRMS) and other applicable laws and regulations (14-2022-044) issued by the Colorado Mine Land Reclamation Board, and any future approved revisions and amendments.
- Access within each Phase will include, but not be limited to, clearing of land and gravel construction of network drains, development of soil bank and gravel (crushing, washing and screening), crushing and recycling of concrete and asphalt materials, hauling of metal-related concrete, hauling of metal-related products, and waste of soil materials.
- The Plan Area shown in Phase 4 will include roughing in the site and activities one include, but are not limited to, processing the sand and gravel (crushing, washing and screening), crushing and recycling of concrete and asphalt materials, hauling of metal-related concrete, hauling of metal-related products, and waste of soil materials.
- For the sand and gravel processing, and the concrete and asphalt recycling, the processing equipment shall include, but is not limited to, crushers, screens, concrete, screens, rollers, and other necessary processing equipment. For metal-related concrete, and metal-related products, the processing equipment shall include, but is not limited to, crushers, screens, rollers, and other necessary processing equipment. The equipment shall be fully compliant with all applicable laws and regulations.
- The approximate location of the 21st Street crossing the South Platte River, which has been dedicated in the Town of Platteville. The FDP shall include the 21st Street crossing the South Platte River, which has been dedicated in the Town of Platteville. The FDP shall include the 21st Street crossing the South Platte River, which has been dedicated in the Town of Platteville. The FDP shall include the 21st Street crossing the South Platte River, which has been dedicated in the Town of Platteville.
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L.G. EVERIST AT WEST FARMS RECLAMATION PLAN

Lots 1, 2, 4, & 5, L.G. Everist at West Farms Subdivision
 Situated in Section 14, Township 3 North, Range 67 West, of the 6th Principal Meridian,
 Town of Platteville, County of Weld, State of Colorado
TBD - COUNTY ROAD 21, PLATTEVILLE, CO 80651

DATE: 07/09/2024
 REVISIONS:
 NO. DESCRIPTION
 1 AS SHOWN
 DRAWN BY: ENI/SLD
 CHECKED BY: LMS

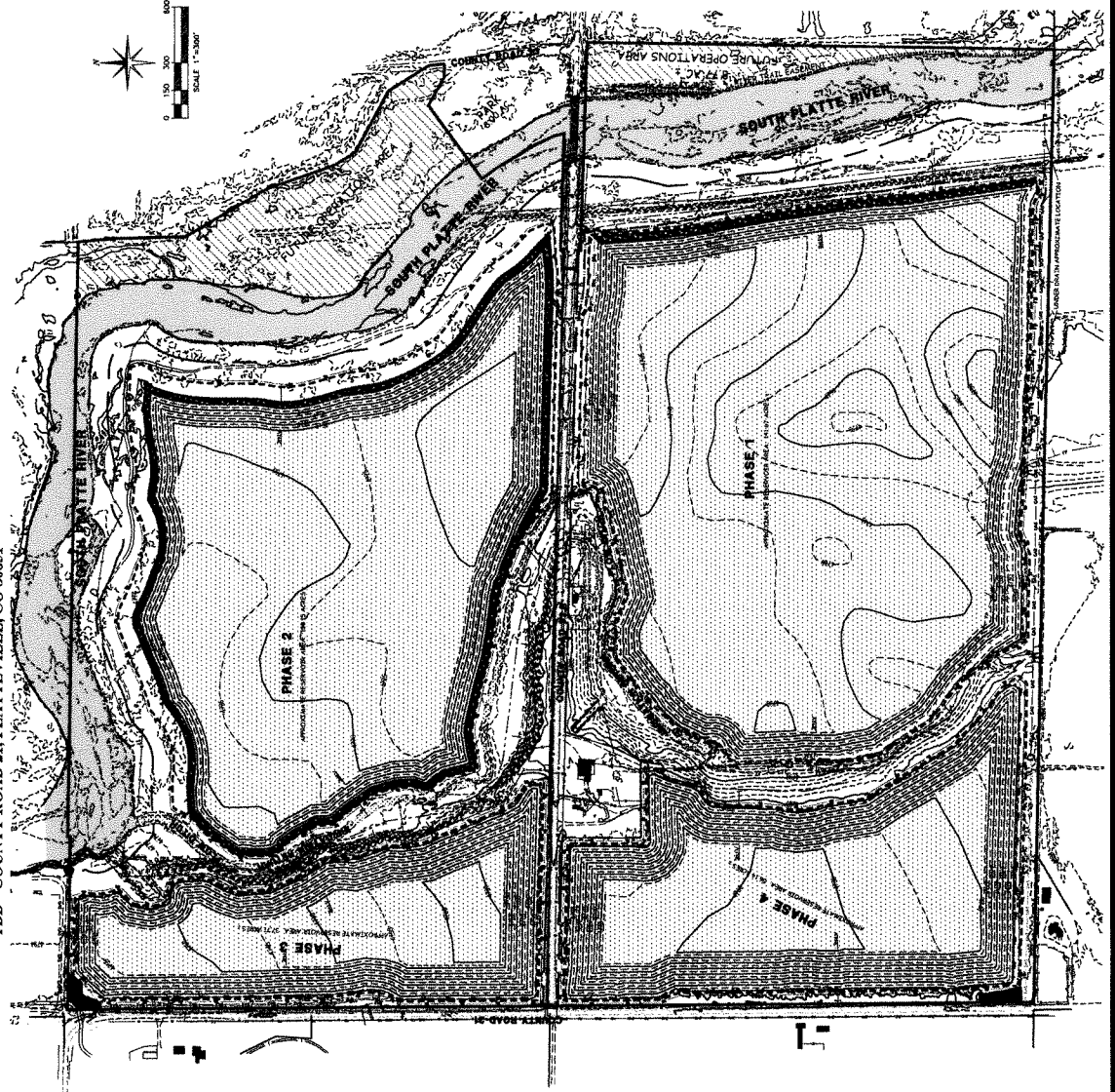
L.G. Everist, Inc.
 721 East 98th Avenue | Henderson, Colorado 80640
 Phone: (303) 287-4656 | Fax: (303) 289-1348



L.G. EVERIST AT WEST FARMS
 FOR
 LOTS 1, 2, 4, & 5 - FINAL MINE DEVELOPMENT PLAN

Prepared by: ENVIRONMENTAL
 CONSULTANTS
 1200 43rd Street
 Suite 200
 Platteville, CO 80651
 Phone: (303) 287-4656
 Fax: (303) 289-1348

CLIENT AND RECORDS
 EXHIBIT
4



LEGEND

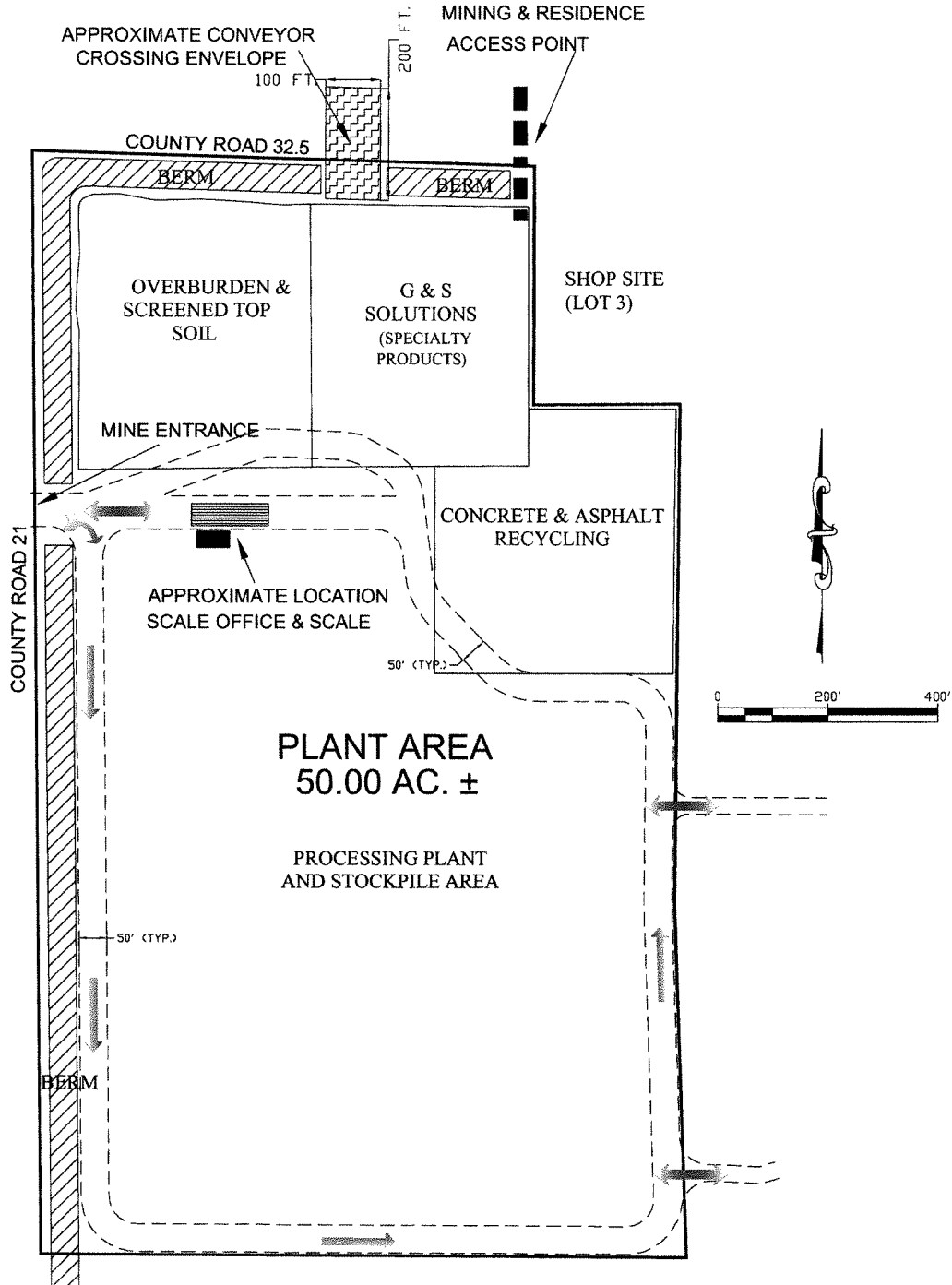
- TOP PROPERTY BOUNDARY
- UNING PERMIT BOUNDARY/AFFECTED LINES
- COMMUNICATION LINES
- OVERHEAD POWER LINES
- DIC
- FENCE
- ARMORDED (R) RIGID GRADE
- WATER LINE
- IRRIGATION LINES
- FIBER OPTIC LINES
- GAS LINES
- SURVEY WALL LINER
- UNDERDRAIN
- ROADS (OFFSITE)
- ROADS (ON SITE)
- ROADS (MAIL ACCESS) (TYP.)
- TOPO CONTOUR
- RIVER
- DITCH
- FLOOD PLAIN
- BUILDINGS
- WATERWELL
- Ø 152288
- PUBLIC ROAD RIGHT OF WAY
- RESERVOIR WATER LEVEL (Estimated)
- BANK ARMORING (Approximate Location)

- ### NOTES
- The information shown on this plan is based on the data provided by the client and the field notes of the surveyors. The client warrants the accuracy of the data provided.
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L.G. EVERIST AT WEST FARMS

ESTIMATED PLANT AREA LAYOUT

Lots 1, 2, 4, & 5, L.G. Everist at West Farms Subdivision
 Situated in Section 14, Township 3 North, Range 67 West, of the 6th Principal Meridian, Town of Platteville, County of Weld, State of Colorado
TBD - COUNTY ROAD 21, PLATTEVILLE, CO 80651



NOTES

1. The Plant Area shown on this plat will be used throughout the life of the mine and activities may include, but are not limited to, processing the sand and gravel (crushing, washing and screening); crushing and recycling of concrete and asphalt materials; batching of ready-mixed concrete; batching of hot-mix asphalt; stockpiling of raw and finished products, and sales of said materials.
2. The Plant Area shall include the necessary portable processing plants and equipment to conduct the activities listed above. For the sand and gravel processing, and the concrete and asphalt recycling, the processing equipment shall include, but is not limited to, crushers, screens, conveyors, stackers, feeders, log-washers, and other necessary processing equipment. For ready-mixed concrete, and hot-mix asphalt, portable plants may be installed for the life of the mine.
3. The location of the use areas shown are estimated locations and the final Plant Area layout and uses will be determined once development begins. The layout shown is for illustration purposes only.


 PREPARED BY: ENVIRONMENT, INC.
 7800 VANCE DR., # 205A
 ARVING, CO 80003
 (303) 422-7177
 environment_inc@earthlink.net

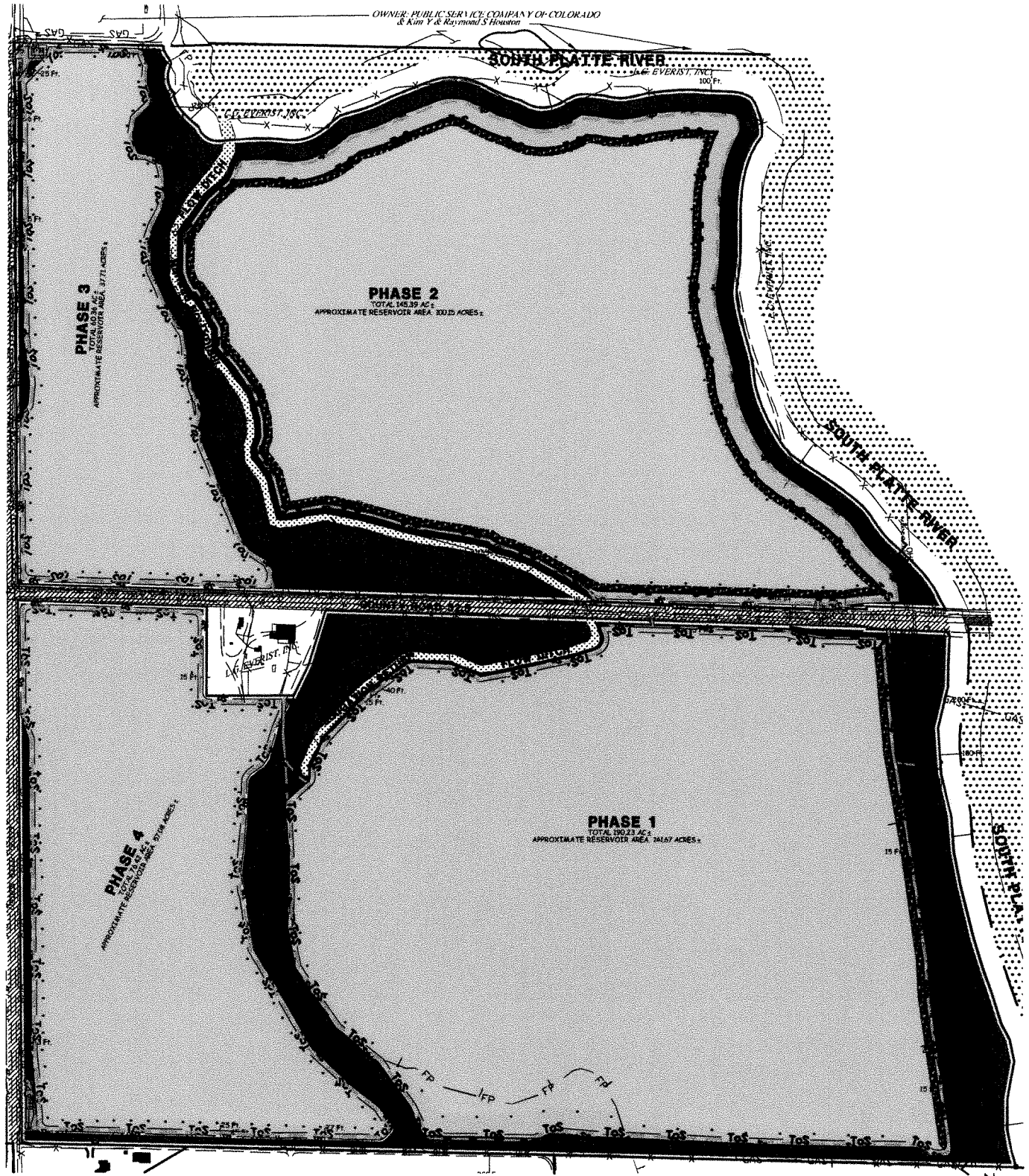


L.G. Everist, Inc.
 7321 East 88th Avenue | Henderson, Colorado 80640
 phone: (303) 287-4656 | fax: (303) 289-1348

DATE	02/09/2024
REVISED BY	ML
DESIGNED BY	ML
CHECKED BY	ML
DATE	02/09/2024

L.G. EVERIST, INC
WEST FARM RESERVOIRS

FIGURE E-1



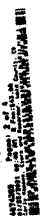
**L.G. Everist, Inc. at West Farms Planned Development
Final Development Plan (FDP) – Application Packet**

Final Development Plan (FDP) - Application Packet
(Attachment Title Pages)

COPY of DRMS Permit M-2022-048
(separate electronic file ~ 300 pages)

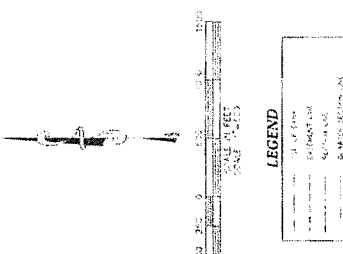
L.G. EVERIST AT WEST FARMS

Situate in Section 14, Township 3 North, Range 67 West of the 6th P.M.,
Town of Platteville, County of Weld, State of Colorado



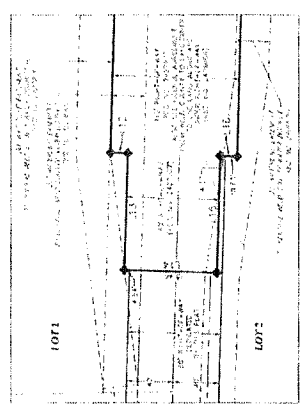
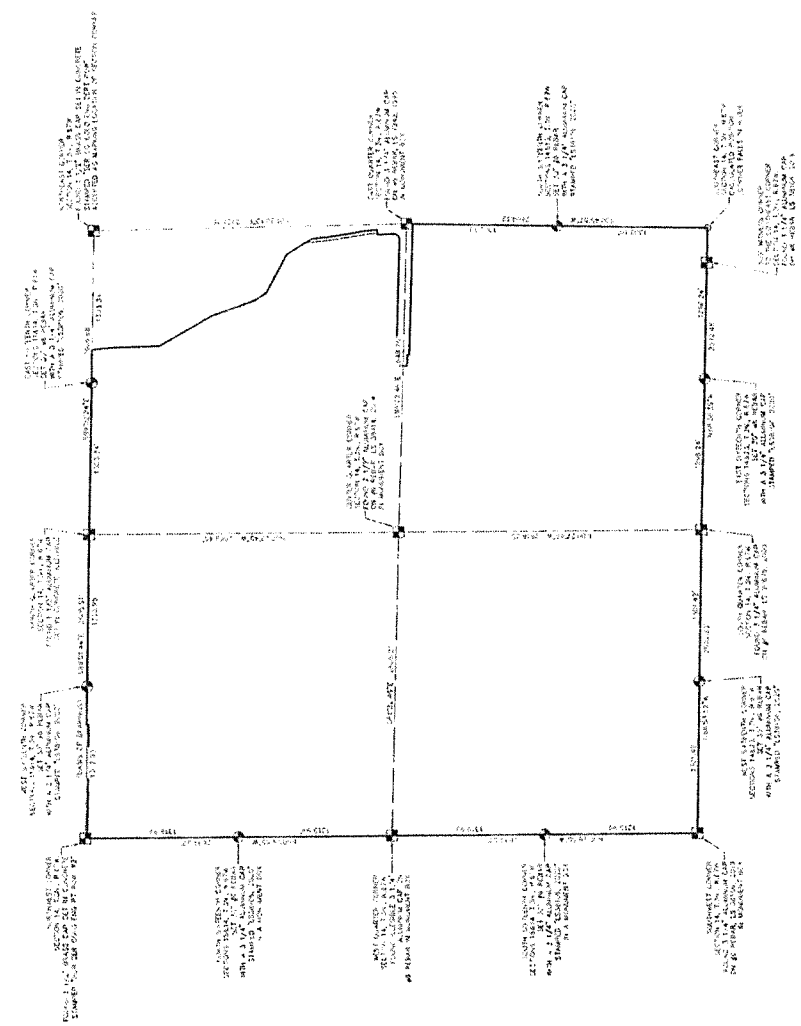
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169.50	169.50
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171.50	171.50
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190.50	190.50
191.50	191.50
192.50	192.50
193.50	193.50
194.50	194.50
195.50	195.50
196.50	196.50
197.50	197.50
198.50	198.50
199.50	199.50
200.50	200.50

CURVE LENGTH (METERS)	CHORD LENGTH (METERS)	DELTA	CHORD BEARING
10.00	10.00	0.00	0.00
20.00	19.90	0.64	89.36
30.00	29.70	2.26	86.74
40.00	39.20	4.91	83.16
50.00	48.50	8.56	77.64
60.00	57.40	13.26	69.29
70.00	65.70	19.04	57.25
80.00	73.30	25.84	41.71
90.00	80.00	33.60	21.80
100.00	85.70	42.26	7.18
110.00	90.30	51.76	-13.26
120.00	93.80	62.04	-25.71
130.00	96.20	72.96	-39.18
140.00	97.50	84.48	-53.50
150.00	97.70	96.48	-68.41
160.00	96.80	108.96	-83.76
170.00	94.80	121.80	-99.40
180.00	91.70	134.96	-115.18
190.00	87.50	148.40	-130.96
200.00	82.20	162.08	-146.60



LEGEND

	SURVEYED LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED RIGHT-OF-WAY
	EASEMENT
	UTILITY LINE
	OBSTRUCTION
	SURVEY POINT
	SECTION CORNER
	MONUMENT
	BOUNDARY LINE
	AREA OF UNCERTAINTY
	ROAD RIGHT-OF-WAY
	UTILITY RIGHT-OF-WAY
	EASEMENT RIGHT-OF-WAY
	PROPOSED RIGHT-OF-WAY



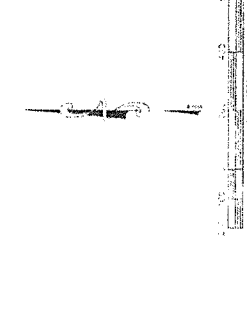
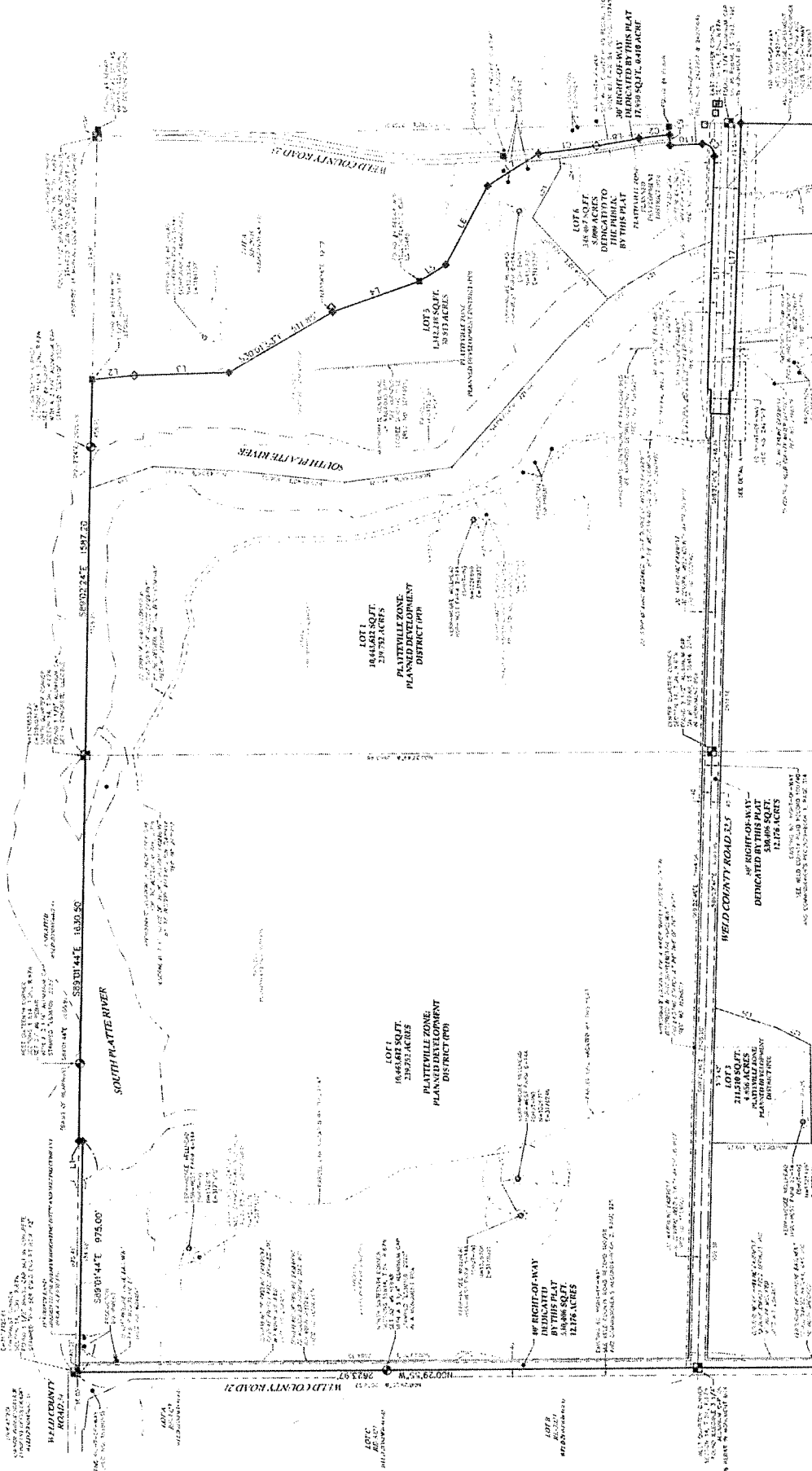
L.G. EVERIST AT WEST FARMS

Situate in Section 14, Township 3 North, Range 67 West of the 6th P.M.,
Town of Platteville, County of Weld, State of Colorado

NOTE: SEE LINE AND CURVE TABLES ON SHEET 2 OF 4

LEGEND

	RIGHT-OF-WAY INDICATED
	RIGHT-OF-WAY
	EASEMENT
	SURVEY LINE
	BOUNDARY LINE
	PLAT BOUNDARY
	SECTION BOUNDARY
	TOWNSHIP BOUNDARY
	RANGE BOUNDARY
	MERIDIAN BOUNDARY
	MONUMENT
	SURVEY POINT
	BOUNDARY POINT
	PLAT BOUNDARY POINT
	SECTION BOUNDARY POINT
	TOWNSHIP BOUNDARY POINT
	RANGE BOUNDARY POINT
	MERIDIAN BOUNDARY POINT



SEE SHEET 4 OF 4

SEE SHEET 4 OF 4

L.G. EVERIST AT WEST FARMS

Situate in Section 14, Township 3 North, Range 67 West of the 6th P.M.,
Town of Platteville, County of Weld, State of Colorado

APPROVED
PLAT BY THE COLORADO STATE ENGINEER

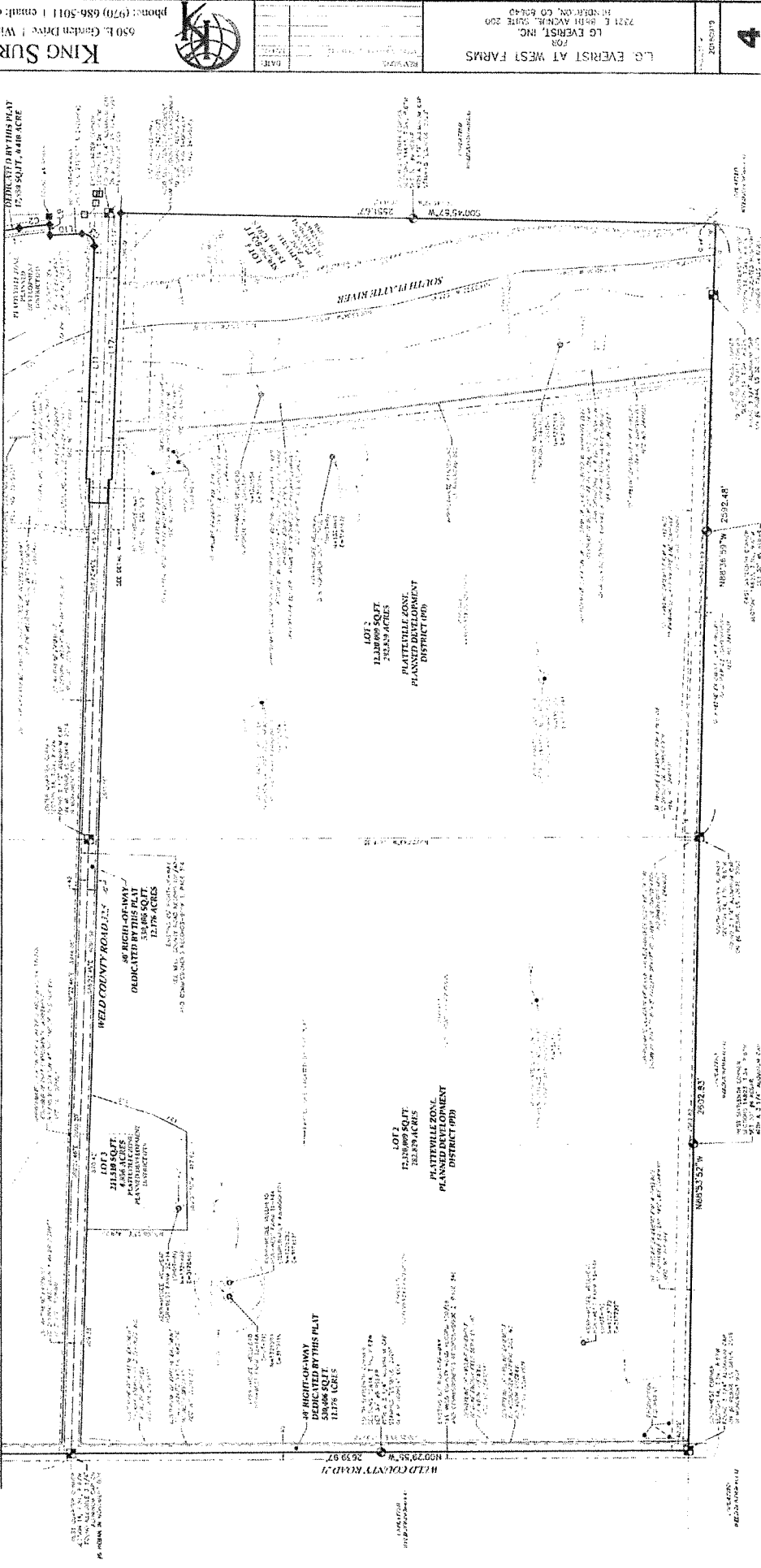
LEGEND

⊠	PLATTED DISTRICT	□	PLATTED DISTRICT
⊡	PLATTED DISTRICT	⊞	PLATTED DISTRICT
⊟	PLATTED DISTRICT	⊠	PLATTED DISTRICT
⊣	PLATTED DISTRICT	⊡	PLATTED DISTRICT
⊥	PLATTED DISTRICT	⊟	PLATTED DISTRICT
⊧	PLATTED DISTRICT	⊣	PLATTED DISTRICT
⊨	PLATTED DISTRICT	⊥	PLATTED DISTRICT
⊩	PLATTED DISTRICT	⊧	PLATTED DISTRICT
⊪	PLATTED DISTRICT	⊨	PLATTED DISTRICT
⊫	PLATTED DISTRICT	⊩	PLATTED DISTRICT
⊬	PLATTED DISTRICT	⊪	PLATTED DISTRICT
⊭	PLATTED DISTRICT	⊫	PLATTED DISTRICT
⊮	PLATTED DISTRICT	⊬	PLATTED DISTRICT
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⊾	PLATTED DISTRICT	⊽	PLATTED DISTRICT
⊿	PLATTED DISTRICT	⊾	PLATTED DISTRICT

NOTE: SEE LINE AND CURVE TABLES ON SHEET 2 OF 4

SEE SHEET 3 OF 4

SEE SHEET 3 OF 4



4

SHEET 4 OF 4

FOR L.G. EVERIST AT WEST FARMS
 LC EVERIST, INC.
 7321 E. 18th Avenue, Suite 200
 NORTON, CO 80450
 PHONE: (970) 686-5011 | email: contact@kingsurveyors.com
 KING SURVEYORS
 650 E. Garden Drive | Windsor, Colorado 80350

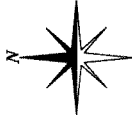
WEST FARMS

LAND USE MAP - RECLAMATION PLAN

A portion of Section 14, Township 3 North, Range 67 West, 6th Principal Meridian, Weld County Colorado

LEGEND

- RESERVOIR AREAS
- NON MINING AREAS
- REVEGETATED AREAS
- SIL & GAS WELL HEAD WORKING AREAS
- RIVER AREA
- IRRIGATION RETURN FLOW AREA
- FUTURE OPERATIONS AREAS
- FUTURE PARK AREA
- PUBLIC ROADWAYS
- RESERVOIR AREA ENTRANCES
- RESERVOIR ACCESS ROADS
- FLOODPLAIN LIMITS (ZONE A)
- ADJACENT RIVER TIME EASEMENT (APPROXIMATE LOCATIONS)
- AREA LINE



- ### NOTES
- The map shows the proposed future development and the development progress. They may also change according to future site and development progress.
 - The areas to be redeveloped around each reservoir will be submitted to the Division of Reclamation Mining and Safety (DRMS) for Reclamation Permit issued by the Colorado Water Conservation Board that will be obtained prior to mining.
 - Final development of the reservoirs and their supporting facilities will be the responsibility of the eventual reservoir owner.
 - The reservoirs will have gravel access roads around the perimeter of each reservoir. The location shown may change.
 - Approximately 61 acres will be granted around the proposed Shop & Maintenance Facilities area but will not be shown as shown herein.
 - The approximate access points for each reservoir area are shown herein. The access to the reservoirs will be used to move equipment, material and other items to and from the reservoirs.
 - Any development and construction of the reservoirs may be used during mining and reclamation for placement of soil materials, tailing waste and as wetlands. It shall be the responsibility of the reservoir owner to obtain all necessary permits and approvals from the State of Colorado.
 - The FID includes open space and wetlands adjacent to the South Platte River and provides for trail connections along the River corridor and shall reduce and support any other utilization previously proposed on or adjacent to the Property. The Open Space Distribution shall occur when the Property receives all applicable permits for their own development and associated costs from the State of Colorado.
 - The Developer agrees to provide and maintain the South Platte River Corridor Trail Easement (SPTRE) for the use of the public. The SPTRE shall be a minimum of 10 feet wide and shall be located on the south side of the South Platte River Corridor. The trail will run from the south property line to the dedicated park area north of County Road 25. The approximate location of the trail and park area is shown on the map.
 - The FID also provides for the construction of a reservoir access point and represents the best information available at the time this document was created.
 - The land uses permitted herein are permitted uses and may be developed for right per the FID agreement.
 - If inconsistencies exist between these notes and the FID agreement, the FID agreement shall control.

PLANNING COMMISSION CERTIFICATE

This FID approved by the Planning Commission on the _____ day of _____, A.D. 20____.

Commissioner _____

Approved by the Board of Trustees of Platteville, Colorado _____ day of _____, A.D. 20____.

Mayor _____

Owner's Representative _____

THE UNDERSIGNED AS THE OWNER OR OWNER'S REPRESENTATIVE OF THE LANDS DESCRIBED

HEREIN, HEREBY AGREES ON BEHALF OF HIMSELF, THEIR HEIRS, SUCCESSORS, AND ASSIGNEES TO ACCEPT AND CONSENT TO THE APPROVED SITE PLAN AND IN COMPLIANCE WITH THE TOWN OF PLATTEVILLE REGULATIONS

Representative of Owner _____

State of Colorado _____

County of Adams _____

City of _____

By _____

Witness by my hand and official seal

Notary Public _____

My Commission Expires _____

DATE: 04/20/2020
 FILE NAME: WF-2017
 SCALE: 1"=300'
 DRAWN BY: ENV/SJL
 CHECKED BY: LMS

L.G. Everist, Inc.
 721 East 88th Avenue | Henderson, Colorado 80640
 Phone: (303) 297-4656 | Fax: (303) 299-1348

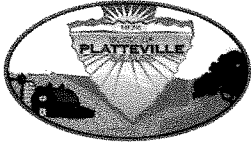


PLANNED DEVELOPMENT - AMENDMENT NO. 1
 FOR
 WEST FARM

PREPARED BY: ENVIRONMENTAL INC.
 1000 N. W. 10TH AVE
 SUITE 200
 WESTLAND, MISSOURI 64088
 PHONE: (816) 424-1200
 FAX: (816) 424-1201
 WWW: WWW.ENVIRONMENTALINC.COM

FILED AND RECORDED
 IN THE OFFICE OF THE COUNTY CLERK
 OF WELD COUNTY, COLORADO

EXHIBIT
 D



Agenda Item Cover Sheet

MEETING DATE: July 16, 2024
AGENDA ITEM: WWTF Digester Blower Purchase
DEPARTMENT: Wastewater - Sewer
PRESENTED BY: David Brand & Josh Leyba, PW Staff

SUMMARY

The proposal will add a necessary piece of equipment to help better meet the requirements for the final product at the WWTF. Please see the attached memo from Josh Leyba explaining the need for and how this piece of equipment will be implemented and used.

FINANCIAL CONSIDERATIONS

Please see the attached proposal from Landia regarding the proposed equipment and associated costs. The estimate is \$19,829.00 as proposed. These funds are available in the Sewer Fund, Capital Outlay line item.

RECOMMENDED ACTION

Approve the purchase of the Landia Submersible AirJet unit and guide assembly in the amount of \$19,829.00.

ATTACHMENTS

Leyba Memo - WWTF Digester Modification Proposal
Landia Proposal dated June 11, 2024

Town Of Platteville WWTF Digester Modification Proposal

The Town of Platteville has worked closely with Landia through out start up of the new WWTF. They provide the aeration and mixer that we utilize in the operation of the Digester.

In an aerated Digester such as ours we have a target DO – dissolved oxygen of 1.5 – 2.0 mg/L. We often see less than 0.5 mg/L. We have tried numerous things with the existing blower air jet to reach these numbers for state compliance and permitting of the liquid sludge. Such items include running the maximum size impeller for greater volume of air. Running a fine diffuser within the air jet to maximize the uptake of dissolved oxygen in the digester sludge and positioning of the air jet to the mixer to yield the best results. We know that we are right on the edge of having the extra air needed to get these numbers up at our target of 2% solids in the Digester.

We have worked closely with JVA and Landia since start up to come up with the best solutions. I believe the most cost-effective solution is to purchase the small air jet and run it as needed with the current equipment. We will be able to alternate the use of the current mixer and the new air jet without the additional costs of a new operational panel and running expensive electrical wiring to the ECC – electrical control room and the SCADA system. The new air jet will run off a switch in the current mixer panel allowing us to run extra air when needed and switch to back to the mixer to complete anoxic treatment and break down surface foaming.

While at times there is just enough DO to pass our required Laboratory tests- SOUR – specific oxygen uptake rate test. We often also fall short of that treatment goal. We submitted 3 SOUR tests last year before we passed just in time for compliance. The additional air jet should provide us with the needed treatment to confidently pass our SOUR testing and provide the additional DO needed to treat as the flows and produced sludge increase over the years to the Wastewater Treatment Facilities capacity.

I see this solution as urgent and required in the success of our operations.

Thank you all for your time and understanding,

Joshua Leyba, CWP



ENGINEERED TO LAST

June 11, 2024

Subject: Landia AirJet and Guide Pipe Assembly

Contact: Josh Leyba
Company: Platteville WWTF
Address: 11866 CR 32.5
Platteville, CO 80651
Phone: 719.293.4179
Email: jleyba@plattevillegov.org

Reference: Landia Project No. 71696

Landia, Inc.

111 Triangle Trade Drive
Cary, North Carolina 27513
Phone: 919-466-0603
Fax: 919-460-1666
Email: info@landiainc.com
Website: www.landiainc.com

Dear Josh:

As requested, we are pleased to provide the following proposal for the purchase of the spare Landia Model DG-I 105 AirJet located at Platteville WWTF, along with a guide pipe assembly for permanent installation.

Quotation for Submersible AirJet – S/N 72617

One (1) Submersible Chopper Pump, model DG-I 105 12.2-HP 1800, 3ph/460V/60Hz is equipped with the following:

- Cast Iron Motor and Pump Casing
- Thermal Sensors in the Windings
- 30' Power Cable
- Polypropylene Cable Mesh
- Hardened Knife System
- Stainless Steel Suspension/Lifting Bracket
- Stainless Steel Sliding Console for 80×80 Guide Pipe
- Stainless Steel Air Ejector with Nozzle
- PVC Spiral Hose
- Stainless Steel Tightening Clamps
- Stainless Steel Hose Bracket for 80×80 Guide Pipe
- Stainless Steel Installation Hardware (80×80 Guide Pipe) includes the following:
 - Guide Pipe Equipped with Spike
 - Fixing Bracket
 - Upper Guide Holder
 - Stop Bracket

Principal Drawing No. 37A0574

Price for one (1) unit includes the above equipment..... \$19,829.00

Please note the following:

- The above quoted equipment is in previously-owned condition, with the exception of the fixing bracket and upper guide holder.
- The pump must be completely submerged while operating.
- The guide pipe with spike requires a level concrete floor for installation. It is not necessary to drain the tank prior to installing the guide pipe.



Items not Included

- Control Panel / VFD
- Installation
- Field Wiring
- Field Testing
- Any other device, equipment, materials, or labor not specifically called out in this proposal.
- Anchor Bolts
- Seal Control
- Explosion-Proof Motor
- Spare Parts

Additional Information

- **Our prices include duties and freight to Platteville, CO.**
- We do not collect and are not responsible for any sales and use taxes. If these taxes are applicable, you are responsible for remitting them directly to your state's Department of Revenue.
- Prices valid for 60 days from proposal date.
- Payment conditions will be defined at the time of the order.
- Delivery: 3-5 weeks after drawing approval, if required.
- We are pleased to attach the following documents:
 - Principal Drawing no. 37A0574
 - Technical Data Sheet
 - AirJet Performance Sheet
 - General Terms of Sales and Delivery

Pump recommendation is based on the information available to Landia as of the date of this proposal. We reserve the right to make any necessary alterations to the information stated above when this offer becomes a firm order.

We trust our proposal is of interest and look forward to hearing from you.

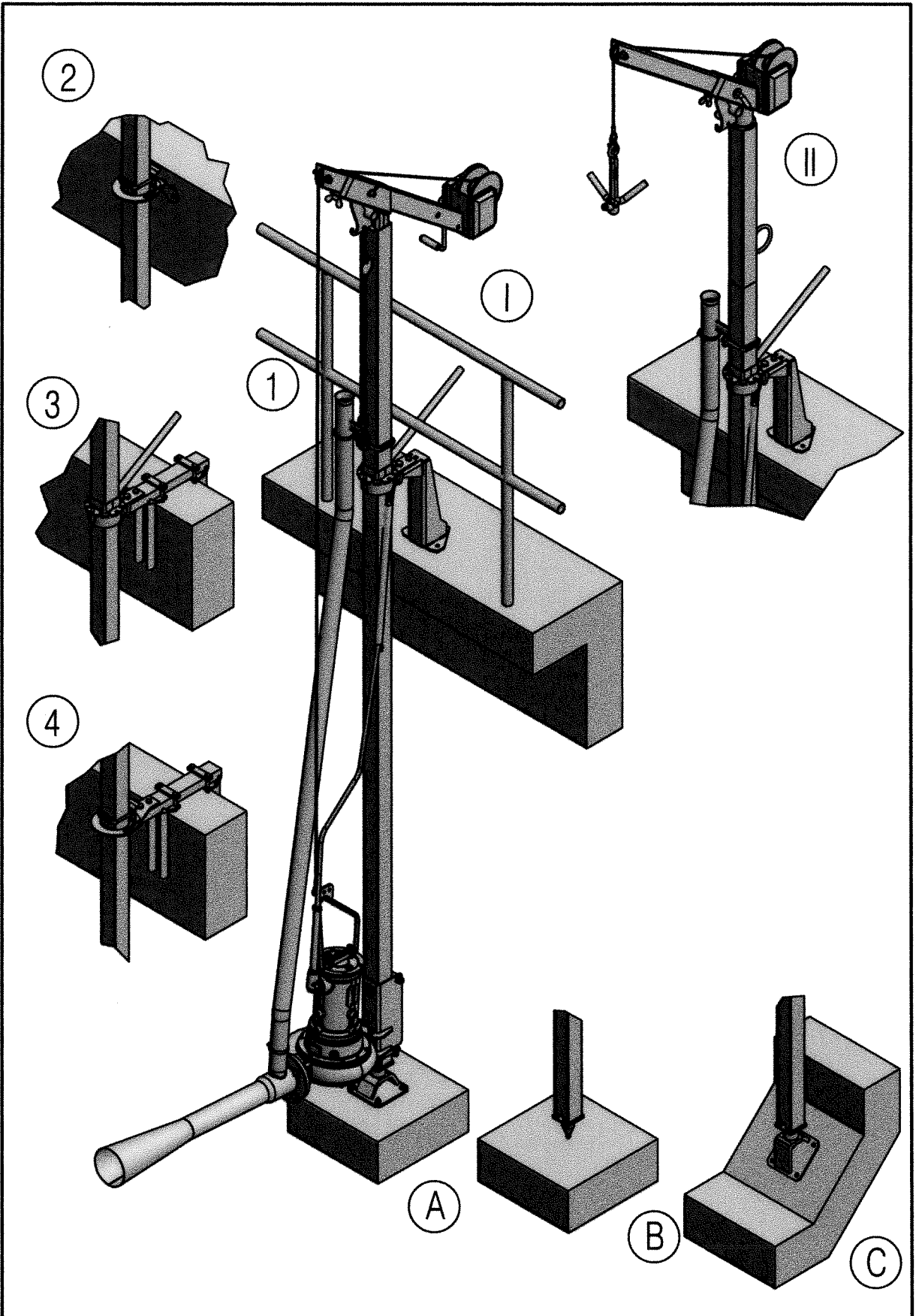
Sincerely,



Art Savage
Regional Sales Manager
Mobile: 919.592.9955
Email: asa@landiainc.com

ASA/jam

COPYRIGHT - This drawing is the property of Landia and cannot be shown, copied, given to a third party or used in any other way without permission from Landia.



Landia

Model DG-I Vertical AirJet
Chopper Pump with Single Ejector
Principal Drawing

Scale:	Sign.:	Date:
1 : 20	LBO KSK	09-08-2018
Dwg.no.:		37A0574
Revision date: 25-07-2018		

Technical Data Sheet

Page 1/1

Article no. 2324918 Submersible Pump Model DG-I 105 30.2 HP, medium pressure

Manufacturer.....	LANDIA	
Type.....	DG-I	
Impeller revolutions.....	1760 rpm	
Motor series.....	160	
Weight.....	463 lb	
Electrical cable.....	10×AWG 10	
Controls.....	Thermal sensors 120° C	
<i>Option</i>	<i>Seal control</i>	<input type="checkbox"/>
Exterior and interior seals.....	Mechanical shaft seals	

Pressure Side:

Discharge diameter.....	Ø 105 mm
Dividing circle/bolt holes.....	Ø 170 mm/4 pcs Ø18 (DIN 2631)

Material:

Motor housing and oil chamber.....	Cast iron AISI A48-40B	
Pump housing.....	Cast iron AISI A48-40B	
Impeller.....	Cast iron AISI A48-40B	
Bolts and screws.....	Stainless steel AISI 316	
Mechanical shaft seals.....	Silicon carbide / silicon carbide	
Surface coating.....	Painted	
<i>Option</i>	<i>2-component coating</i>	<input type="checkbox"/>
Knife system: 1 fixed and 2 rotating knives.....	A570 GR 36 hardened	
<i>Option: 3 fixed and 2 rotating knives.....</i>	<i>Extended knife system</i>	<input type="checkbox"/>

Motor:

Manufacturer.....	LANDIA	
Type.....	DM 30.2.4	
Rated effect.....	30.2 HP	
Revolutions.....	1760 rpm	
Phases × voltage, frequency.....	3 × 460 V, 60 Hz	
Start current direct.....	241 A	
Rated operating current.....	36 A	
Power factor, cos.....	0.85	
Cage class.....	IP 68	
<i>Option</i>	<i>Class I, group C & D</i>	<input type="checkbox"/>
Insulation class.....	F	
Minimum voltage allowed.....	430 V	

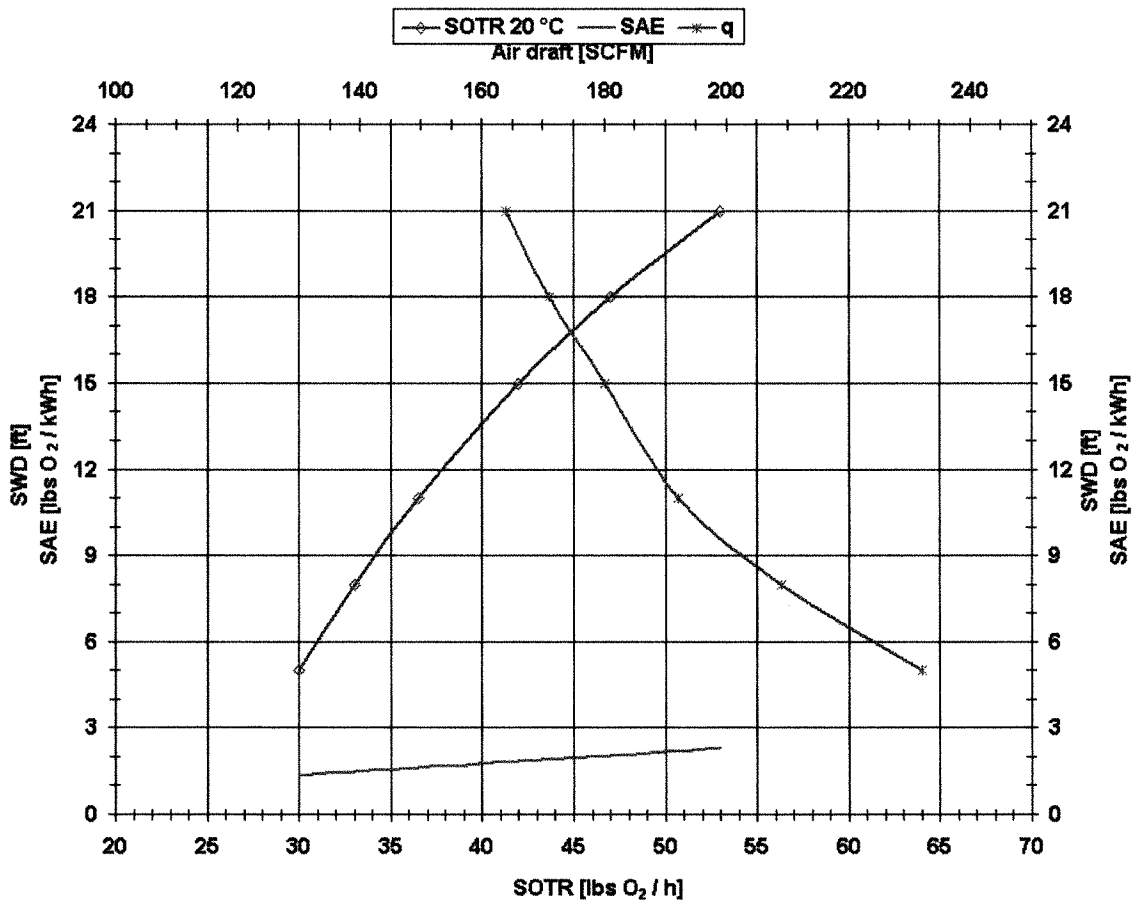
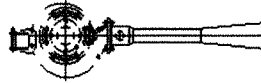
Oil:

Type, standard.....	Castrol Tecton 15W-40
<i>Type, for seal control.....</i>	<i>Castrol Hyspin HVI 46D</i>
Quantity.....	4.4 quarts
Recommended service interval/oil change.....	every 2,000 hours of operation or minimum once a year

*We reserve the right to technical alterations*

Performance data for AirJet at Standard Temperature and Pressure (STP) - Clean Water	STP: - Air and medium temperature 20°C - Barometric pressure 760 mm Hg
--	--

AirJet 302 1 Performance at STP



SOTR Standard Oxygen Transfer Rate (ANSI/ASCE 2-91) [lbs O ₂ /h]	SAE Standard Aeration Efficiency SOTR/kW power consumption [lbs O ₂ /kWh]
SWD Side Water Depth [m]	q Air flow [SCFM]

Conditions of Sale

Page 1/2

A. Acceptance

This quotation is void at our option unless a purchase order is placed with us within sixty (60) days from date of bid opening or date of written proposal. The order will be subject to written acceptance by our company's executive office. In the absence of this, the Buyer's written order will be valid. Our quotation is limited to only those technical portions of the Engineer's Mechanical Specifications specifically referred to herein, and to the terms and conditions of sale as outlined in our quotation. We will not be bound by any Terms and Conditions of the prime Contract not specifically included herein.

B. Terms

Net due thirty (30) days after the date of invoice unless otherwise stated in the proposal. These terms are subject to approval by our Credit Department. Your payment to us will not be dependent or contingent upon receipt of payment by you or any other parties. Any balance remaining due thirty-one (31) days beyond the due date will be subject to a monthly service fee until paid. Should we have to engage an attorney to collect the balance due us, including the service fee, you agree to reimburse us for all collection costs including reasonable attorney fees. The Buyer is responsible for all bank charges and fees in connection with payment. Payment by cheque is not approved until the cheque has been cashed by the Buyer's bank.

C. Taxes & Other Charges

Unless otherwise indicated, no Sales, Use, Retailer's Occupation, Service Occupation, Service Use, or similar taxes and similar charges, have been included in our prices. The amount of any such taxes or charges which are paid or assessed in connection with this order and which are not specifically stated as being included in the purchase price, shall be paid by you, either directly to the appropriate authorities (in which event you shall furnish us with satisfactory evidence of such payments) or to us if we have paid, or are required to pay, such taxes or charges. If you are tax exempt on this job, you will need to supply us with your exemption certificate. You agree to reimburse our company for taxes we must pay on your behalf. You are responsible for obtaining permits in connection with the sale or installation of our equipment.

D. Warranty

Landia Inc. warrants to Buyer that equipment sold hereunder, of its manufacture, is free from defect in material and workmanship, and is of the kind and quality designated or described herein. This warranty shall run to Buyer and, if applicable, such entity specifically identified in the Primary Contract only, but not to their employees, representatives, agents, customers, assignees, etc., and applies to those technical portions of the Engineer's Specifications only to the extent that they are referred to herein. This warranty shall be in full force and effect at the time of shipment of such equipment for a period of one (1) year from the date of invoice. Landia Inc. undertakes and reserves the right to free of charge to redress at their works or to exchange defect products. The parts replaced transfer automatically to the manufacturer's property and must be returned to them as agreed. Expenses or costs incurred with the return and re-assembly or corresponding arrangements and indirect loss and damage will not be compensated. The obligation of Landia Inc. to replace or redress such defective parts shall be the exclusive remedy hereunder. Buyer must give Landia Inc. notice in writing of any other alleged defect covered by this warranty within thirty (30) days of the discovery of such defect during the warranty period. No claim more than thirty (30) days after the warranty period shall be valid. The warranty extends to replaced parts of Landia Inc.'s manufacture for ninety (90) days or the remainder of the original warranty period applicable to the parts being replaced.

This warranty shall not apply to:

- A. Any equipment which has been subjected to misuse, neglect, or accident;
- B. Any equipment which has been altered, tampered with, or upon which corrective work has been done thereon without Landia Inc.'s specific written consent;

- C. Any equipment which has been operated or maintained in a manner which in any way deviates from the maintenance schedules, specifications, and parameters set forth in Landia Inc.'s Operator's Manual for such equipment.

No allowances will be made for any such alterations or corrective work done without the specific written consent of Landia Inc. Conditions caused by improper lubrication, deterioration by chemical action, and wear caused by the presence of abrasive materials, do not constitute defects. Equipment manufactured by others, and included in Landia Inc.'s proposal, is not warranted in any way by Landia Inc. but carries only that manufacturer's warranty, if any.

No representative of Landia Inc. has any authority to waive, alter, vary, or add to the items hereof without prior written approval.

THE FOREGOING WARRANTY IS EXCLUSIVE AND IN LIEU OF ALL OTHER GUARANTEES AND WARRANTIES OF QUALITY, WRITTEN, ORAL OR IMPLIED; ALL OTHER WARRANTIES, INCLUDING ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR PURPOSE ARE HEREBY EXPRESSLY DISCLAIMED.

E. Security Interest

Until all amounts due hereunder have been paid in full, Seller has a security interest in the equipment and has all rights of a secured party under the Uniform Commercial Code including, without limitation, the right to take possession of the equipment without legal process and the right to require Buyer to assemble the equipment and make it available to Seller at a place reasonably convenient to both parties. At Seller's request, Buyer shall execute any financing statement or statements submitted by Seller in order that Seller's security interest in the equipment may be perfected.

F. Changes & Delays-Cost

If you cause changes to be made, or delay or interrupt the progress of the work, you will reimburse us for any additional expense resulting from such cause. Any of such changes or delays which may adversely affect the operation of the equipment will nullify our warranty unless we consent in writing thereto.

G. Delays

We shall not be liable for delay in delivery caused by any reason beyond our control, including but not limited to your delay in promptly submitting all information necessary for us to proceed with the work, your delay in approval of drawings, acts of God, casualty, civil disturbance, labor disputes, strikes, transportation, supply difficulties, any interruption of our facilities, or any of the governmental authorities. In the event of such conditions, Landia Inc. is entitled to cancel the order or to extend the time for delivery specified herein during the continuance of such conditions and for a reasonable time thereafter.

H. Claims

Claims for errors or shortages existing prior to our delivery of the equipment to the carrier will be considered only when made to us immediately after receipt of shipment. Claims shall be confirmed in writing. Buyer shall immediately inspect the equipment upon receipt thereof. Seller is not obligated to consider any claim for shortages or non-conformance unless notified thereof by Buyer within eight (8) days after Buyer's receipt of equipment. Modifications to the equipment furnished by Landia Inc. to meet OSHA or local safety codes will be by others. Seller will supply only the safety devices, if any, described in the order. LANDIA INC. assumes no responsibility for any costs, direct or indirect, resulting from disapproval of our tender by the owner.

I. Transportation Expense

Unless otherwise noted, the prices shown in this proposal include freight to the destination shown, at lowest available freight rates on a common carrier of our choice. If you require us to ship another way, you will bear any additional expense. Landia Inc. will provide and maintain in responsible insurance companies, at its own expense, insurance against loss and damage to the equipment by fire or other casualty during transportation of the equipment from Landia Inc.'s works and to the final destination of the equipment. In order for our company to insure delivery, it is agreed by you and our company that you will provide us with an access road to and from the job site, which road is capable of supporting trucks. The responsibility for the protection of equipment will be yours after it is delivered to the job site. Damage to the equipment after delivery which is caused by vandalism, the elements or otherwise, will be your responsibility and not that of our company.

Conditions of Sale

Page 2/2

J. Liability

It is expressly understood that our liability, including that for negligence, for our products is limited to the furnishing of such replacement parts, and that we will not be liable for any other expense, injury, loss or damage, whether direct or consequential, including but not limited to loss of profits, production, increased cost of operation, or spoilage of material, arising in connection with the resale or use of, or inability to use, our equipment or products for any purpose except as herein provided.

K. Liquidated Damages

If awarded this contract, we will diligently prosecute the engineering and fabrication of the proposed equipment; however, we are unable to accept any liquidated damages or penalty clauses for failure to complete shipment as designated in this proposal.

L. Installation Representative

At your request, and subject to our option and availability of personnel at time of requirement, we will provide the services of a competent person to advise you concerning the installation of the equipment covered by this proposal. These services are not supervisory but are advisory only, and are offered subject to the express understanding that our function and responsibility is limited to interpretation of assembly drawings and identification of materials for their proper location in the equipment or system layout. These services are offered on a "no risk" basis by Landia Inc.

In payment for such services, you will reimburse us at the current rate for each normal working day, or fraction thereof, that such person is absent from our plant on your business. The normal working day shall be eight (8) hours, between 8:00 AM and 4:30 PM, Monday through Friday, exclusive of holidays. All service performed by our representative at your request in addition to a normal working day, as herein defined, shall be classified as overtime work. If circumstances dictate that our representative shall work exclusively during hours other than those of the normal working day, arrangements can be made. The day rate is subject to change to the rate in effect at the time representative is furnished. You will also reimburse us for all transportation and living expenses incurred by our representative while absent from our plant on your business.

M. Cancellation

Cancellation or suspension of a contract will be accepted only upon terms that will indemnify Landia Inc. against loss. You agree to reimburse our company for our costs incurred in such cancellation, including overhead and administrative costs. Our company may cancel the order prior to or at the time of receiving the final approved drawings if our company deems itself insecure, or determines that it is commercially unreasonable for us to proceed. In this event, you will be refunded any and all deposits you have made to us.

N. Contract

We both agree that this contract contains the complete and final agreement between us and may not be modified, supplemented, explained, or waived by oral evidence, your purchase order, course of dealing, or in any other way, except where made in writing and signed by you and our company's authorized officer.

O. Arbitration

Any controversy or claim arising out of or relating to this transaction shall be settled in Cary NC by arbitration in accordance with the Rules of the American Arbitration Association, and judgement upon the award rendered by the Arbitrator may be entered in any court having jurisdiction hereof.

P. Confidential Information

All information and data herein furnished to Buyer hereunder, relating to price, size, type and design is submitted with the understanding that it is for the Buyer's own confidential use and is not to be shown or otherwise made known or available to any third party at any time without Seller's written consent.

Q. Validity

Should an individual section of these conditions – regardless of reason – be invalid, this will not affect the validity of the remainder.



Agenda Item Cover Sheet

MEETING DATE: July 16, 2024
AGENDA ITEM: Recreation/Seniors Director Report
DEPARTMENT: Recreation/Seniors
PRESENTED BY: Janet Torres, Director

SUMMARY

Ms. Torres has submitted a written report and will be available during the meeting to answer any questions.

ATTACHMENTS

Recreation / Senior Director Report

Town of Platteville

Janet Torres

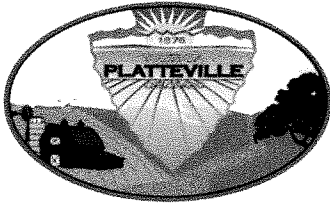
Recreation/Senior Director

508 Reynolds Ave

Platteville, CO 80651

720-815-8136

jtorres@Plattevillegov.org



Recreation/Senior Memo July 2024

Seniors:

- Friendly Fork Lunch counts have stayed consistent on Monday and Fridays. We are having approximately 40 for the Tuesday evening meals. On 7/16 we have musical entertainment lined up for after dinner.
- Field Trips for June Field Trips: Blackhawk, Oskar Blue in Lyons, The Oasis BINGO, Tiny Town.
- Registration opened for the September Extended Stay Travel Trip to Ride the Cumbres & Toltec Train and then to visit Grenada CO and see the Amachi National Park and Museum. We currently have 16 signed up for this trip. We can take up to 20.
- Ice Cream Social will be Sunday, July 14 from 2:00-4:00 with Musical Guest Jason Koban performing from 2:30-3:30

Adult Programing:

- The Coed 4v4 Grass Volleyball league started on 6/27. There are 4 teams playing, games are held at Riverview Park on Thursday evenings.
- Registration opened for Harvest Daze -Mud Volleyball and 1-Pitch Softball.
- We are looking into hosting a Traveling Putt Putt Golf league and a traveling Co Ed VB league with La Salle and Ft. Lupton.

Youth Programing:

- Baseball/Tee Ball/ Coach Pitch-Games will be wrapping up the week of July 22nd. Baseball games will be done the week of July 17th.
- Registration for Fall Volleyball and the Tri Valley Little Ballers Flag Football and Soccer league close on July 22nd with late registration ending on August 2nd.
- We have 5 weeks of the Summer Feeding Program left. August 7 will be our last Farm to Table Food Truck for the community.
- We will be hosted our first annual All Sports Celebration on 6/29/2024 at Riverview Park. There were approximately 100 kids there. We had burgers and hot dogs and water slides for the kids.

Recreation Advisory Committee:

- **Outdoor Games and Movie in the Park** night July 26, 2024.
- **Oktoberfest-German Dinner and Dutch Hop** featuring Polka Folka. October 5th 2024 outside at the Community Center.

Town of Platteville, Colorado
400 Grand Avenue, 80651



Agenda Item Cover Sheet

MEETING DATE: July 16, 2024
AGENDA ITEM: Police Chief Report
DEPARTMENT: Police Department
PRESENTED BY: Carl Dwyer, Police Chief

SUMMARY

Chief Dwyer has submitted a written report and will be available during the meeting to answer any questions.

ATTACHMENTS

Police Chief Report & Department Monthly Statistics



PLATTEVILLE POLICE DEPARTMENT CHIEF OF POLICE

400 Grand Avenue
Platteville, Colorado 80651
970.785.2215 (p) • 970.785.6113 (f)

Platteville Police Department Board Report

Mayor Michael Cowper, Board of Trustees and staff,

The 4th of July weekend went well this year with no major incidents to report. Officers served several firework warnings in both Platteville and Gilcrest. We'll continue to enforce in the coming days when we receive complaints or see violations.

School starts back on August 8th this year, a little earlier than usual with the 4-day school weeks. Officers Kayleen Ceja and Luther Mares will be our school resource officers for the upcoming school year, Luther in Platteville and Kayleen in Gilcrest. It'll be nice to have both Towns occupied with full-time SRO's this year.

After conducting interviews and written exams for patrol, we've made a conditional job offer to Roman Martinez. Roman is a newly certified officer with no previous experience. Roman has conducted ride-alongs with Platteville and lives in the Ft. Collins area. He's currently taking his psychological exam and we're awaiting his results. We're excited to get him on board.

Platteville PD recently joined 56 other police departments during a "click-it-or-ticket" campaign where 943 seatbelt tickets were issued collectively. Over half of fatality crashes involve an unrestrained driver/passenger.

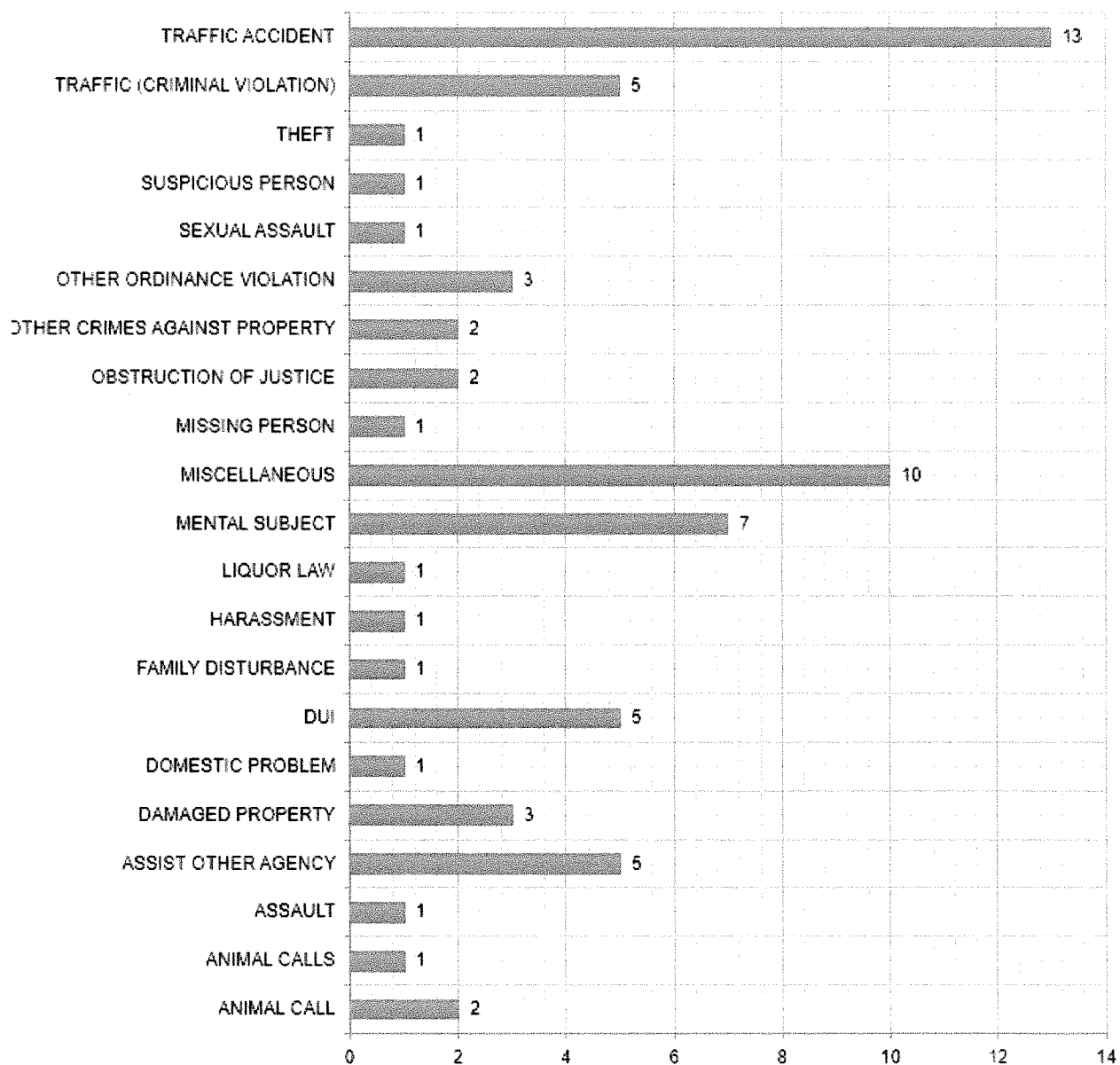
The police department is getting ready to host National Night Out on August 6th from 4-7pm at Riverview Park. Come out and enjoy a soggy hot dog or two with Plattevilles finest. Waterslides, gladiator jousting, snow cones and more!

Training in June consisted of high-risk traffic stops, standard field sobriety certification and Taser instructor certification.

Stat sheets have been attached and I'm happy to answer any questions that you may have.

Kind regards,
Chief Carl Dwyer

REPORT STATS - JUNE





POLICE-COMMUNITY PARTNERSHIPS

**COME JOIN THE PLATTEVILLE POLICE DEPARTMENT
FOR NATIONAL NIGHT OUT 2024!**

*AUGUST 6, 2024 4:00PM-7:00PM @
RIVERVIEW PARK*

**EVENT WILL INCLUDE, HOT DOGS, LEMONADE,
GLADIATOR JOUSTING, BOUNCE-HOUSES,
WATERSLIDES, HANDOUTS, CORN HOLE,
SQUIRTGUNS AND MORE!**



Town of Platteville, Colorado
400 Grand Avenue, 80651



Agenda Item Cover Sheet

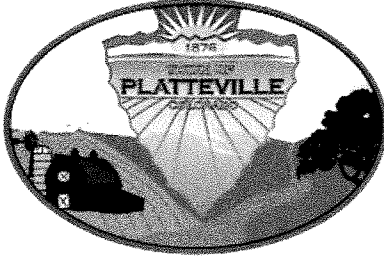
MEETING DATE July 16, 2024
AGENDA ITEM: Public Works Report
DEPARTMENT: Public Works
PRESENTED BY: David Brand, Director

SUMMARY

Mr. Brand has submitted a written report and will be available during the meeting to answer any questions.

ATTACHMENTS

Public Works Directors Report



TOWN OF PLATTEVILLE

David Brand

Public Works Director

400 Grand Avenue

Platteville, Colorado 80651

970.785.2245 - 970.785.2476 (fax)

dbrand@plattevillegov.org

Public Works Memo

July 2024

Wastewater System:

- The treatment plant and collection system have been operating as designed.
 - There are aspects of the collection system and lift stations that are showing their age, but the crews have been able to adapt and keep things functional.
 - We are collecting information to include certain updates / upgrades in the 2025 budget to be installed next year.
 - A proposal to add another mixer to the WWTF digester is part of the packet for your approval at this meeting. Please see the information included with the agenda item.

Water System:

- Had one water line leak that was repaired at the end of June.
 - The line was repaired again at the connection between the service line and main line in the street. The theory is that the additional weight and vibration during the chip sealing process probably contributed to these leaking conditions.

Streets & Sidewalks:

- The light pole summer banners have been hung on power poles around Town. I have received several positive comments about them.
- CDOT actually mowed ditch on the north and south ends of Town along US85.
 - This was the first time in recent history that this has happened.
 - We sent an email with our appreciation and gratitude for them completing this work.
- The Olive Lane sidewalk project was completed in just two of the four weeks allowed for construction. The punch list has been completed and once Northern Engineering reviews the payment request, this will be processed.
 - GLH was thorough and did a great job on the project and working with all the residents. Had one resident take the time to call the Town Manager to let him know what a good job GLH did.
- Working with UPRR concerning the paving options for the potholes east of US85 and the RR tracks to get this work scheduled in the next month or so.
- Completed most of the asphalt repairs, will be scheduling some concrete repairs and work in various areas soon.
- PW staff have installed 7 new "wagon wheel" benches along Main Street. The others will be installed after some additional concrete work is completed.

Parks:

- PW staff have been successful while troubleshooting areas in the parks, and greenbelts where the irrigation systems were not functioning as designed.
 - Many areas that were dryer are “coming back to life” and turning green.
- High Plains landscapes repaired a section of the outfield grass area on the west field. They removed the existing damaged sod, re-leveled the area with fresh amended topsoil and laid new sod.
 - The new sod appears to be taking hold well. The area is level again and provides a safer play area than it was prior to the work being completed.

Buildings and Grounds:

- A-1 Heating and Air had to replace some parts on a fan motor that is part of the HVAC system serving the northern portions of the Town Hall facility.
 - This component was “in-line” as part of the duct work, so finding it’s location and then completing the repair was interesting; but they were able to resolve it.
- The replacement door at the Recreation shed has been installed. Due the significant cost difference, the new door was a standard size not the “custom” height of the original door. PW staff are working to extend the door to meet the frame size.
- Crews will also be finishing some drywall repairs at the concession stand men’s room.

Cemetery:

- There have been a few burials during the past month.
- The representatives from Camp Farms have verbally expressed their approval of the easements for the new irrigation line. The Town attorney is working on the easement.
 - The other two property owners had some concerns about the proposed easement, so we have revised it and are working with them to confirm the final details.
- Received some compliments about how nice the cemetery has looked for the past few weeks.
 - The PW crews have been diligently working to keep the irrigation system running well.

Miscellaneous:

- PW is fully staffed and as the initial training for our new team members is completed, we will be getting close to being “fully operational” as the Town Manager puts it. 😊
 - One of the utilities team members will be starting the weekend rotation soon. As planned when this additional individual was hired, this schedule will allow better weekend coverage for the WWTF and utility systems for our residents.
- Thank you for your continued support of the Town employees.
- If you have any questions or comments, please do not hesitate to contact me.

Town of Platteville, Colorado
400 Grand Avenue, 80651



Agenda Item Cover Sheet

MEETING DATE: July 16, 2024
AGENDA ITEM: Town Manager Report
DEPARTMENT: Administration
PRESENTED BY: Troy Renken, Town Manager

SUMMARY

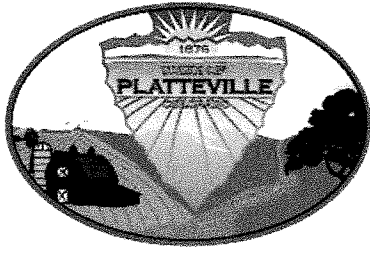
Mr. Renken has submitted a written report and will be available at the meeting to answer questions as needed.

ATTACHMENTS

Manager Report

FYI Items:

- Business Appreciate Lunch Flyer & Business Survey
- Weld County Budget Schedule, Profile Statistics and Population & Development Report



TOWN OF PLATTEVILLE

Troy Renken

Town Manager

400 Grand Avenue, Platteville, Colorado 80651

970.785.2245 - 970.785.2476 (f)

(trenken@plattevillegov.org)

To: Mayor & Board of Trustees

Date: July 16, 2024

Town Manager's Board of Trustees Report

We've had a long break since we last met on June 18th and overall the summer months have been a little slower than in previous years which has been nice in many ways. The street and sidewalk projects were completed earlier than usual this year so the next few months will be focused on regular maintenance items, completing smaller projects, and early preparation of the 2025 budget. I've completed the cover sheets for the agenda items to summarize or explain each item so please let me know if you have any additional questions on any of the items before the meeting.

During the past month I've taken 1-2 days off per week to travel and attend my son's summer club baseball tournaments which will come to an end next weekend. I appreciate the opportunity to attend his summer tournaments before school starts again next month and he graduates VHS next spring.

Even with being out of the office one or more days each week they have remained busy with various meetings and working with staff on various projects as summarized below:

➤ Weld RE-1 Interim Superintendent

- I met with Kim Bloeman the Interim Superintendent for the school district the last week of June to discuss new goals and directions the school district is pursuing. Former Superintendent Johan van Nieuwenhuizen retired in June and Kim, who was the assistant Superintendent, accepted the interim position for the 2024-25 school year. Kim is organizing a quarterly district-wide meeting with all three towns, the two fire districts and the library district to develop a Partnership Luncheon in which all organizations can discuss topics of interest or concern. I told Kim this would be a good opportunity and I am looking forward to the first luncheon on Wednesday, August 21st.

➤ Development Opportunities

- Two substantial development opportunities are going before the Board and Planning Commission including the LG Everist Final Development Plan and the Platte View Annexation. In the next few years these development projects will be revenues to the Town including sales tax (gravel mining) and increased property taxes with one-time impact fees from Platte View. I anticipate that Platte View will develop in the next few years while the LG Everist mining will take 3+ years to get started.
- The TFP Nutrition dog food manufacturing facility is now approved through the site plan and building permit processes and is under construction. The Town still needs to complete a road maintenance agreement for Front Street and address any comments or requirements that CDOT imposes on the US85 and CR 34 intersection but overall the process has been very smooth. I've

heard that there are multiple comments and concerns about the potential odor/smell that could be generated from the facility on social media (i.e., Nextdoor) so I've asked Josh Evans, VP of Operations, to attend the August 20th Board meeting to address these concerns and explain in further detail how TFP plans to mitigate the odor and noise at the facility. Josh was unavailable until that meeting date but is regularly available by phone or email to address urgent issues and have several on-site managers that can be contacted as needed.

Additional development opportunities that I've been working on include:

- Platte River Farms
 - David and I met with several commercial and residential developers and will discuss this further with the Board during the August 6th meeting. There good interest in developing commercial, industrial and residential opportunities based upon the Board's direction.
- Platteville Energy Park Tract B
 - The Town-owned lots along N. Main Street had generated interest from a small developer that is considering acquiring all three lots for smaller retail development. I met with this developer earlier in the week and will have followup discussions with him in the next few months as he develops a draft development plan for review.
- Peter Ahlstrand Property
 - The 11 acres located immediately west of the Reynolds Ave and River Street intersection is for sale and the owner (Peter) has contacted me about the Town purchasing it. Since this property is next to the decommissioned sewer lagoons I believe it should be strongly considered for residential development. Peter advised that his asking price is \$635,000 and the property has a small farmhouse, greenhouse and irrigation well that has adequate pumping capacity for outdoor use. I plan on discussing this property with the Board during the August 6th meeting if the property is still available.
- Platteville Energy Park North
 - Two separate developers approached me about the property directly north of the energy park on the northwest corner of US85 & SH66 for potential annexation and industrial development. Both developers have industrial clients that need 10-20 acres for large warehouse and office buildings. These developers are currently developing conceptual plans to present to the Board in the new few months for consideration if they can come to a purchase agreement with the property owner (Gary Hendrickson).

➤ Business Appreciation Lunch

- The Economic Development Committee and Town is sponsoring a mid-summer Business Appreciation Lunch on Wednesday, July 17th from 11:30am -1:00pm for all local businesses. The lunch will include fried chicken, potato salad, chips, cookies and drink and a brief presentation will be made on the recent Business Survey that was completed a few weeks ago. I've included the survey with my report for review. The Economic Development Committee, Melissa Kendrick and I will manage the lunch and all local businesses were invited by email as well as the Everbridge community message. The Board of Trustees, Planning Commission and Town staff are encouraged to attend if available.

I'll have several additional items to discuss during my verbal report. Have a nice weekend and please contact me prior to the meeting with any questions as needed.

JOIN US FOR A

Town of Platteville

Business Appreciation

Lunch

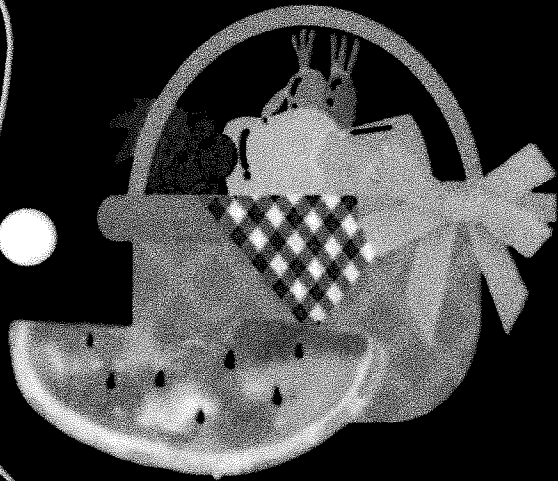
*Thank you to
our local
Businesses!*

Wednesday, July
17th

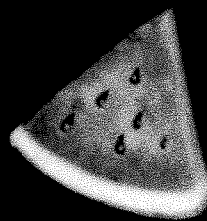
Lincoln Park

11:30am-1pm

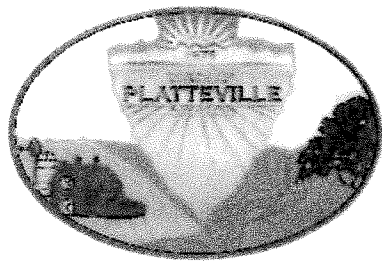
No RSVP Needed



Fried Chicken
With side
and drink



Polco



Platteville Economic Development Business Survey

Survey Results
FINAL

07/01/2024

How long have you operated a business in Platteville?

Less than one year	20% (2)
1-3 years	10% (1)
3-7 years	10% (1)
7-10 years	30% (3)
10+ years	30% (3)

Why did you decide to have a business in Platteville?

Proximity to other towns and customers	40% (4)
Lifestyle and available amenities	10% (1)
Took over family business	10% (1)
Became first time business owner or operator	20% (2)
Other	50% (5)

In the question above, if you selected other please explain below.

I moved here in 1989 and started my in home licensed child care business

We acquired an existing facility that fit our strategic placement strategy.

Live in Platteville

central location to Denver and DJ Basin. Right on I25

Location was good to be opened up with multiple vendors I couldn't not get in bigger cities and there were a lot of potential customers and businesses in Platteville that could use my business.

Do you plan on growing your business in the next few years or do you intend to close or relocate to another community?

Stay in Platteville and grow or expand business	80% (8)
Close or relocate to another community	20% (2)

If you answered the previous question by stating you'll close or relocate your business please indicate the reasons why in the space below.

Moving to a community that cares about appearance, that upholds regulations and ordinances, that cares about community safety and that wants to grow its economic base

If I don't get any foot traffic and soon, I will be forced to close my business in downtown Platteville.

What would you tell a new business that is looking to start up or relocate to Platteville?

Be patient and friendly.

The management of the town is not enforced as far as ordinances and appearances, the town allows garbage and junk build up and won't enforce business or residential property to abide by regulations

Great Town management to work with and motivated to see businesses grow.

Don't come to Platteville. Not a good town for business.

Safebuilt is difficult to deal with for upgrades or development. Good place to work and live.







The town is great to work with but there is minimal outside traffic.

We need more businesses. There are several empty buildings that should be utilized.

The town is very welcoming and helpful. They want to see you succeed. Security is always something to think about so make sure and have the proper security system in place.

Do your homework. There is no foot traffic in this small and quiet town. There is also very little support from the towns people and management.

What are the three most positive benefits about doing business in Platteville?

Small town atmosphere 	60% (6)
Local community & knowing clientele 	20% (2)
Minimal amount of traffic or travel time 	40% (4)
Convenient location 	60% (6)
Less competition from similar type businesses 	20% (2)
Easy to obtain a business license 	40% (4)






Is there another positive benefit about doing business in Platteville that's not listed above?

Residential/Commercial zoning

Lots of Oil and Gas companies in the area.

Being next to the Silver Spur has helped me pull in new customers that I wouldn't have had opportunity to meet.

What would encourage you to expand your business in Platteville?

Larger population and more residents 	70% (7)
More businesses 	40% (4)
More local events to attract business and customers 	30% (3)
More available office space or buildings 	50% (5)
Other 	30% (3)

If you indicated other to the above question please explain below.

Clean up the community and attract residents and businesses

Down town Platteville promoted for business. NO housing in buildings that are to be used for business.

More business promotion within the town

What are the most important things the Town could do to encourage current residents to start a business in the community or promote someone else to move their business to Platteville?

Improve Main Street.

Advertising in industrial journals about the Town and land availability.

improve downtown Platteville. Sidewalks. Promote business.

Promote and support local businesses.

1. Put the empty and unused buildings for sale at a reasonable price. 2. Give the town a theme, i.e. western, to make it a destination 3. Make River accessible 4. Utility subsidies

Good internet sources that are fast and reliable. Police force that works hard to keep businesses safe from break ins and shop lifting.

As I see it, there's only 1 business storefront for lease on Main Street and 1 storefront for sale that is extremely overpriced. I'm not seeing a ton of opportunities for people to come in and start a new business here. I am very concerned about all of the blinds that are shut on Main Street and it looks like a ghost town. There are so many businesses that are not being run as businesses as people are residing in the buildings and not sure how this complies with town ordinances? At this point, I wouldn't encourage anyone to come into Platteville and start up a business as I'm struggling to get support of the town and not sure I'll make it much longer.

How can the Town partner with you to improve your business?

Change or amend current building or land use codes to be more business friendly with fewer requirements	50% (5)
Advertise business opportunities and local events	40% (4)
Install signage on the highways to promote businesses in town	80% (8)
Offer matching grant funds to help businesses update or install downtown building improvements	50% (5)
Partner with businesses to install downtown murals or artwork	20% (2)
Create a bulletin board in the business district to advertise businesses and events	50% (5)

What are the three primary barriers to doing business in Platteville?

Zoning and code regulations	10% (1)
Length of time for site plan or building permit approval	10% (1)
Lack of advertising space or locations	40% (4)
Limited amenities to keep or attract residents to the community	80% (8)
Lack of available locations or building options	60% (6)

What other types of businesses would complement your business to help it grow and prosper?

Hardware or Auto Parts Store	80% (8)
<hr/>	
Newspaper	10% (1)
<hr/>	
Entertainment or events	30% (3)
<hr/>	
Grocery Store	70% (7)
<hr/>	
Clothing or Convenience Store	30% (3)
<hr/>	
Other	40% (4)
<hr/>	

If other is selected in the above question please explain below.

Other manufacturers or industrial users.

Business in downtown, not people living in business locations.

Coffee shop, feed store, river activity rentals, restaurants, boutiques

Coffee Shop, nail salon, other service oriented businesses

What other businesses does Platteville need to support the community?

Medical Offices and Home Health Care	30% (3)
<hr/>	
Coffee, ice Cream or similar small scale business	80% (8)
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New restaurants with a variety of food choices	70% (7)
<hr/>	
Retail and Merchandise	50% (5)
<hr/>	
Other	0% (0)

What other business would you support not listed above?

Hardware / farm store

Would you like to become a member of the Platteville Chamber of Commerce?

Yes	44% (4)
No	22% (2)
Not now but possibly in the future	33% (3)

If you selected Yes above, please provide your contact information including name, email and phone number below.

Josh Evans, JEvans@TFPNutrition.com, 936-585-0684

Already am a member

Kevin and Bobbi 720-400-3883

Matt Bruzewski, matt@frclothingandsuppl.com, 720-600-1270

Karina Th3eventhall@gmail.com 970-518-1854

What can the Town and/or Chamber of Commerce do to help promote or grow your business?

Strong partnership.

Businesses might be more attracted to our community if the town would enforce traffic and uphold ordinances

Promote business as a whole in Platteville. What does the chamber of commerce offer to help promote business? When members of the chamber are asked this question, they can't answer it.???

Promote shopping local

Advertising in newsletter

LED signage that advertises what businesses are in Platteville Commons.

Help with advertising.

This is Melisa from Lucy's Mercantile. I doubt this survey is totally anonymous since there are not many businesses in town but if you want to know how you can help me... how about stop by and get to know me??? Something so simple but could carry so much impact!!! Adrienne Sandovai came in the first week I opened my doors in November to welcome me and shopped with me 3 times since I opened my space and has referred others in person and via social media. Jen from the Chamber came in and introduced herself in November and wanted to welcome me and followed up by asking for a donation. Veronica Silbaugh from the Rotary Club asked me to come and speak at their meeting and introduce myself and a few members have shopped with me since then. The Rotary Club just asked for a donation for their Car Show. Larry Hatcher came in and introduced himself and welcomed me just this last weekend. Curtis from the Lions Club stopped in and has asked 3 different times for donations. A gal from the PTA at the elementary school stopped by for a donation as well. Are you noticing a trend here??? Everyone wants a DONATION! I have spent over \$500 in donations since November and only 1 person that I've donated to has spent any money with me. I have had NO OTHER town council, chamber, or other organizations stop by to welcome me or shop with me! I'm blown away by this! This survey is a great step to getting feedback but I have so many more things to say if you want to stop by and chat. I run an ad agency for my full time job and have been marketing for 40 years. I don't have time to go to committee meetings due to my work schedule but if you want to stop by, I'd love to walk down Main Street with you and talk about various ideas on how to bring life into this very dead town. I'm open Fridays 1-6pm and Saturdays 10am-4pm. I have no idea how I'm going to survive with ZERO foot traffic on Main Street and am pleading with you all to help me bring attention to downtown Platteville!



OFFICE OF THE BOARD OF COMMISSIONERS

Phone: 970-336-7204 Fax: 970-352-0242
1150 O St., P.O. Box 758, Greeley, CO 80632

NEWS RELEASE

Date: 07/09/24

Contact: Jennifer Finch, 970-336-7203

PUBLIC WORK SESSIONS FOR 2025 BUDGET SET FOR JULY 15, 16, 22, 23, & 30

WELD COUNTY, CO – Beginning on Monday, July 15, the Weld County Board of Commissioners will hold a series of public work sessions regarding the 2025 budget. These work sessions are for the purpose of listening to office and department presentations and obtaining comments on proposed budget plans for 2025, including specific program budget impacts for next year.

Work sessions will be held in the Pawnee Conference Room of the Weld County Administration Building, located at 1150 O Street, Greeley. The public is welcome to attend and listen, but no public comment is taken during these work sessions. Scheduled times are approximate and may vary as the work session discussions proceed. Copies of budget documents are available for inspection at the Clerk to the Board's Office at 1150 O Street.

Schedule for Monday, July 15, 2024

1:00 p.m.: Overview
1:30 p.m.: Health Department
2:30 p.m.: County Attorney
3:00 p.m.: Planning
3:30 p.m.: Finance & Outstanding General Items

Schedule for Tuesday, July 16, 2024

1:30 p.m.: Sheriff
2:30 p.m.: Extension Services
3:00 p.m.: District Attorney
3:30 p.m.: Facilities (including Capital Improvement Plan)

Schedule for Monday, July 22, 2024

1:30 p.m.: Assessor
2:00 p.m.: Fleet
2:30 p.m.: Clerk to the Board
3:00 p.m.: Justice Services
3:30 p.m.: Oil & Gas
4:00 p.m.: Clerk & Recorder

Schedule for Tuesday, July 23, 2024

1:30 p.m.: Public Works
2:30 p.m.: Human Resources
3:00 p.m.: Office of Emergency Management
3:30 p.m.: Public Safety Communications
4:00 p.m.: Coroner

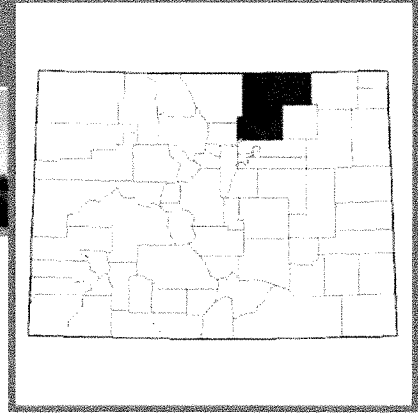
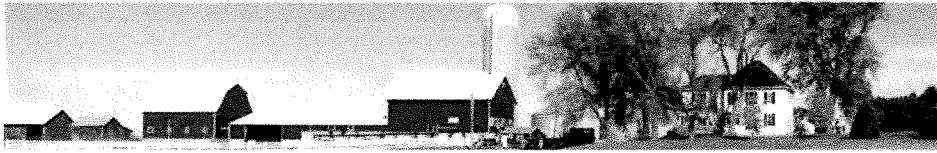
Schedule for Tuesday, July 30, 2024

9:00 a.m.: Human Services
10:00 a.m.: Non-Departmental
11:00 a.m.: Information Technologies
11:30 a.m.: Public Information Office
1:30 p.m.: Outside Agencies

###

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Weld County Colorado

Total and Per Farm Overview, 2022 and change since 2017

	2022	% change since 2017
Number of farms	3,881	-4
Land in farms (acres)	1,987,213	-5
Average size of farm (acres)	512	-1
Total	(\$)	
Market value of products sold	2,384,705,000	+16
Government payments	17,925,000	-7
Farm-related income	47,825,000	-1
Total farm production expenses	1,869,204,000	+9
Net cash farm income	581,251,000	+47
Per farm average	(\$)	
Market value of products sold	614,456	+22
Government payments ^a	22,633	+23
Farm-related income ^a	39,689	+24
Total farm production expenses	481,630	+14
Net cash farm income	149,768	+54

26 Percent of state agriculture sales

Share of Sales by Type (%)

Crops	18
Livestock, poultry, and products	82

Land in Farms by Use (acres)

Cropland	875,694
Pastureland	1,041,396
Woodland	14,495
Other	55,628

Acres irrigated: 274,813

14% of land in farms

Land Use Practices (% of farms)

No till	10
Reduced till	12
Intensive till	11
Cover crop	5

Farms by Value of Sales

	Number	Percent of Total ^b
Less than \$2,500	1,911	49
\$2,500 to \$4,999	302	8
\$5,000 to \$9,999	334	9
\$10,000 to \$24,999	316	8
\$25,000 to \$49,999	194	5
\$50,000 to \$99,999	218	6
\$100,000 or more	606	16

Farms by Size

	Number	Percent of Total ^b
1 to 9 acres	684	18
10 to 49 acres	1,079	28
50 to 179 acres	1,019	26
180 to 499 acres	486	13
500 to 999 acres	264	7
1,000+ acres	349	9



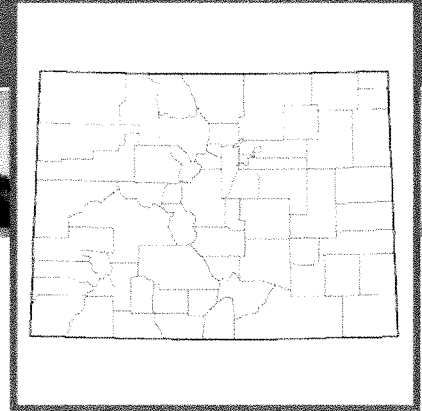
2022 CENSUS of AGRICULTURE *County Profile*

Market Value of Agricultural Products Sold

	Sales (\$1,000)	Rank in State ^c	Counties Producing Item	Rank in U.S. ^c	Counties Producing Item
Total	2,384,705	1	63	11	3,078
Crops	439,837	1	63	58	3,074
Grains, oilseeds, dry beans, dry peas	190,321	2	48	276	2,917
Tobacco	-	-	-	-	267
Cotton and cottonseed	-	-	-	-	647
Vegetables, melons, potatoes, sweet potatoes	67,399	4	50	69	2,831
Fruits, tree nuts, berries	(D)	9	33	(D)	2,711
Nursery, greenhouse, floriculture, sod	106,746	1	50	37	2,660
Cultivated Christmas trees, short rotation woody crops	(D)	8	18	(D)	1,274
Other crops and hay	75,132	1	62	44	3,035
Livestock, poultry, and products	1,944,868	1	63	3	3,076
Poultry and eggs	72,198	1	59	265	3,027
Cattle and calves	982,412	1	61	7	3,047
Milk from cows	822,329	1	30	6	1,770
Hogs and pigs	(D)	11	53	592	2,814
Sheep, goats, wool, mohair, milk	58,383	1	59	1	2,967
Horses, ponies, mules, burros, donkeys	4,774	1	58	51	2,907
Aquaculture	(D)	17	24	(D)	1,190
Other animals and animal products	3,909	3	58	61	2,909

Producers ^d	7,350	Percent of farms that:	Top Crops in Acres ^e
Sex		Have internet access	84
Male	4,389		
Female	2,961		
Age		Farm organically	1
<35	744		
35 – 64	4,041		
65 and older	2,565		
Race		Sell directly to consumers	6
American Indian/Alaska Native	41		
Asian	68		
Black or African American	4		
Native Hawaiian/Pacific Islander	15		
White	7,169	Hire farm labor	18
More than one race	53		
Other characteristics		Are family farms	92
Hispanic, Latino, Spanish origin	386		
With military service	705		
New and beginning farmers	2,963		
			Livestock Inventory (Dec 31, 2022)
			Broilers and other meat-type chickens (D)
			Cattle and calves 545,480
			Goats 5,940
			Hogs and pigs 1,613
			Horses and ponies 7,229
			Layers (D)
			Pullets (D)
			Sheep and lambs 129,426
			Turkeys 491

^a Average per farm receiving. ^b May not add to 100% due to rounding. ^c Among counties whose rank can be displayed. ^d Data collected for a maximum of four producers per farm. ^e Crop commodity names may be shortened; see full names at www.nass.usda.gov/go/cropnames.pdf. ^f Position below the line does not indicate rank. (D) Withheld to avoid disclosing data for individual operations. (NA) Not available. (Z) Less than half of the unit shown. (-) Represents zero.

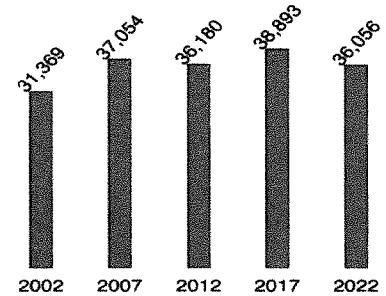


Colorado

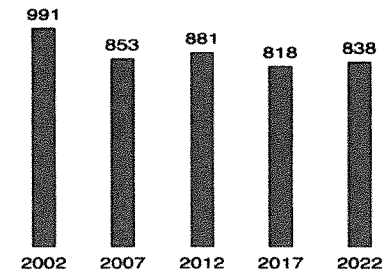
Total and Per Farm Overview, 2022 and change since 2017

	2022	% change since 2017
Number of farms	36,056	-7
Land in farms (acres)	30,213,899	-5
Average size of farm (acres)	838	+2
Total (\$)		
Market value of products sold	9,222,516,000	+23
Government payments	289,057,000	+45
Farm-related income	476,337,000	+51
Total farm production expenses	8,160,142,000	+19
Net cash farm income	1,827,767,000	+58
Per farm average (\$)		
Market value of products sold	255,783	+33
Government payments ^a	33,875	+53
Farm-related income ^a	37,787	+64
Total farm production expenses	226,319	+28
Net cash farm income	50,692	+71

Number of Farms, 2002 - 2022



Average Farm Size, 2002 - 2022 (acres)



Farms by Value of Sales

	Number	Percent of Total ^b
Less than \$2,500	17,688	49
\$2,500 to \$4,999	2,942	8
\$5,000 to \$9,999	3,080	9
\$10,000 to \$24,999	3,250	9
\$25,000 to \$49,999	2,057	6
\$50,000 to \$99,999	1,892	5
\$100,000 or more	5,147	14

Farms by Size

	Number	Percent of Total ^b
1 to 9 acres	5,181	14
10 to 49 acres	10,721	30
50 to 179 acres	7,824	22
180 to 499 acres	4,616	13
500 to 999 acres	2,716	8
1,000+ acres	4,998	14

Market Value of Agricultural Products Sold

	Sales (\$1,000)	Rank in U.S. ^c	States Producing Item
Total	9,222,516	22	50
Crops	2,819,254	29	50
Grains, oilseeds, dry beans, dry peas	1,548,342	23	50
Tobacco	-	-	18
Cotton and cottonseed	-	-	18
Vegetables, melons, potatoes, sweet potatoes	475,148	13	50
Fruits, tree nuts, berries	49,825	21	50
Nursery, greenhouse, floriculture, sod	284,999	21	50
Cultivated Christmas trees, short rotation woody crops	171	43	50
Other crops and hay	460,769	12	50
Livestock, poultry, and products	6,403,262	16	50
Poultry and eggs	111,869	34	50
Cattle and calves	4,659,645	5	50
Milk from cows	1,248,834	13	50
Hogs and pigs	210,135	16	50
Sheep, goats, wool, mohair, milk	97,852	2	50
Horses, ponies, mules, burros, donkeys	31,957	12	50
Aquaculture	15,769	24	50
Other animals and animal products	27,202	17	50

2 Percent of U.S. agriculture sales

Share of Sales by Type (%)

Crops	31
Livestock, poultry, and products	69

Land in Farms by Use (acres)

Cropland	10,479,125
Pastureland	17,658,283
Woodland	1,368,221
Other	708,270

Top Counties: Land in Farms (acres)

Weld	1,987,213
Las Animas	1,805,818
Lincoln	1,598,737
Yuma	1,511,087
Washington	1,381,696

Producers ^d

Sex	67,852
Male	40,106
Female	27,746
Age	
<35	5,439
35 – 64	35,611
65 and older	26,802
Race	
American Indian/Alaska Native	503
Asian	359
Black or African American	86
Native Hawaiian/Pacific Islander	86
White	66,181
More than one race	637
Other characteristics	
Hispanic, Latino, Spanish origin	3,637
With military service	6,496
New and beginning farmers	24,166

Percent of farms that:

Have internet access	83
Farm organically	1
Sell directly to consumers	7
Hire farm labor	19
Are family farms	93

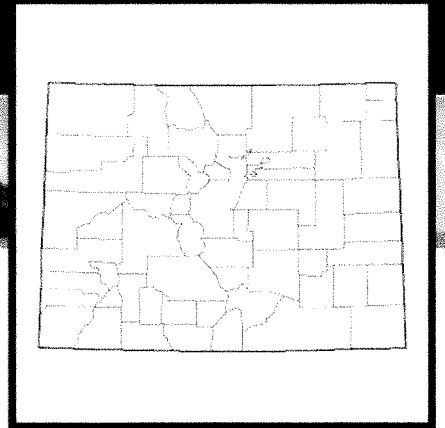
Top Crops in Acres ^e

Wheat for grain, all	1,507,696
Forage (hay/haylage), all	1,373,070
Corn for grain	1,027,578
Sorghum for grain	363,324
Proso millet	336,896

Livestock Inventory (Dec 31, 2022)

Broilers and other meat-type chickens	118,209
Cattle and calves	2,658,012
Goats	42,740
Hogs and pigs	515,878
Horses and ponies	75,992
Layers	1,726,744
Pullets	2,140,836
Sheep and lambs	362,574
Turkeys	5,735

^a Average per farm receiving. ^b May not add to 100% due to rounding. ^c Among states whose rank can be displayed. ^d Data collected for a maximum of four producers per farm. ^e Crop commodity names may be shortened; see full names at www.nass.usda.gov/go/cropnames.pdf. ^f Position below the line does not indicate rank. (D) Withheld to avoid disclosing data for individual operations. (NA) Not available. (Z) Less than half of the unit shown. (-) Represents zero.



Colorado

Item	Farms	Sales (\$1,000)	Rank by Sales	Percent of Total Sales *	Top County
Total sales	36,056	9,222,516	(X)	100	Weld
Cattle and calves	9,739	4,659,645	1	50.5	Weld
Grains, oilseeds, dry beans, and dry peas	3,856	1,548,342	2	16.8	Yuma
Milk from cows	148	1,248,834	3	13.5	Weld
Vegetables, melons, potatoes, and sweet potatoes	1,206	475,148	4	5.2	Rio Grande
Other crops and hay	8,190	460,769	5	5	Weld
Nursery, greenhouse, floriculture, and sod	939	284,999	6	3.1	Weld
Hogs and pigs	1,207	210,135	7	2.3	Yuma
Poultry and eggs	3,534	111,869	8	1.2	Weld
Sheep, goats, wool, mohair, and milk	2,095	97,852	9	1.1	Weld
Fruits, tree nuts, and berries	874	49,825	10	0.5	Mesa
Horses, ponies, mules, burros, and donkeys	1,853	31,957	11	0.3	Weld
Other animals and other animal products	1,347	27,202	12	0.3	Larimer
Aquaculture	51	15,769	13	0.2	Conejos
Cultivated Christmas trees and short rotation woody crops	109	171	14	(Z)	Jefferson
Cotton and cottonseed	-	-	-	-	
Tobacco	-	-	-	-	

Table Definitions

Grains, oilseeds, dry beans, and dry peas sales. Data are for the total market value of cash grains sold, including corn for grain, seed, or silage; wheat for grain; soybeans for beans; sorghum for grain, seed, or silage; barley for grain; rice; oats for grain; and other grains. Also included is the total market value of cash oilseeds sold, including sunflower seed (oil and non-oil), flaxseed, canola, rapeseed, safflower seed, mustard seed, dry beans, and dry peas.

Nursery, greenhouse, floriculture and sod. Data are for total square feet under protection and acres in the open. Individual crop data were collected for area under glass or other protection, area in the open, and sales of aquatic plants, floriculture and bedding crops, nursery crops, sod, propagative materials, hemp grown under protection, food crops grown under protection, and mushroom crops. Total sales data are the summation of all crops.

Other animals and other animal products sold. This category includes number of farms and value of sales for all animals and animal products not listed elsewhere. Some examples are honey, rabbits, semen, manure, and other animal specialties.

Other crops and hay. Data are for the total market value of all crops not categorized into one of the prelisted crop sales categories on the report form and include hay sales. This category includes crops such as grass seed, hay and grass silage, haylage, greenchop, hemp grown in the open, hops, maple syrup, mint for oil, peanuts, sugarcane, and sugarbeets.

Market value of agricultural products sold. This category represents the gross market value before taxes and production expenses of all agricultural products sold or removed from the place in 2022 regardless of who received the payment. It is equivalent to total sales and it includes sales by the producers as well as the value of any shares received by partners, landlords, contractors, or others associated with the operation. It includes value of organic sales, direct sales and the value of commodities placed in the Commodity Credit Corporation (CCC) loan program. Market value of agricultural products sold does not include payments received for participation in other Federal farm programs. It does not include income from farm-related sources such as customwork and other agricultural services, or income from nonfarm sources.

The value of crops sold in 2022 does not necessarily represent the sales from crops harvested in 2022. Data may include sales from crops produced in earlier years and may exclude some crops produced in 2022 but held in storage and not sold. For commodities such as sugarbeets and wool sold through a co-op that made payments in several installments, respondents were requested to report the total value received in 2022.

The value of agricultural products sold was requested of all producers. If the producers failed to report this information, estimates were made based on the amount of crops harvested, livestock or poultry inventory, or number sold.

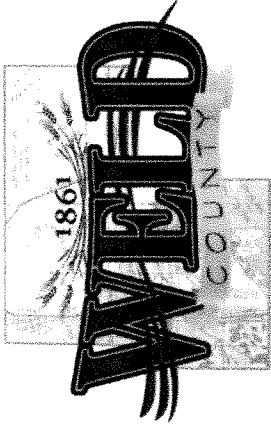
Abbreviations and Symbols

The following abbreviations and symbols are used throughout the tables:

- (-) Represents zero.
- (D) Withheld to avoid disclosing data for individual farms.
- (X) Not applicable.
- (Z) Less than half of the unit shown.

See 2022 Census of Agriculture, U.S. Summary and State Data, for complete footnotes, explanations, definitions, commodity descriptions, and methodology.

* May not add to 100% due to rounding.



The Weld County Population & Development Report

Demographic Statistics and Trends for Weld County, Colorado
Maintained in compliance with Section 22-1-20 of the Weld County Code

Updated as of December 31, 2023

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Weld County Overview

Weld County is located on the Front Range in Northern Colorado between the Rocky Mountains and the Great Plains, approximately 40 miles east of the Continental Divide. The County ranges in elevation from approximately 4,400 feet above sea level on Pawnee Creek at the eastern edge of the County to approximately 6,200 feet at the Pawnee Buttes on the Pawnee National Grassland. The County has a number of valuable streams, creeks, and rivers including the Big Thompson, the Cache la Poudre, and the St. Vrain, all of which flow into the South Platte. These rivers facilitate a water system that delivers water to farmland throughout the County through some of the largest and most complex reservoir and irrigation systems in the world.

The County consists of approximately 3,992 square miles and is the third largest in the state, making it also twice the size of the State of Delaware. Weld County is bounded on the west by Larimer and Boulder Counties, on the east by Morgan and Logan Counties, on the south by Adams and Broomfield Counties, and on the north by Laramie County, Wyoming, and Kimball County, Nebraska.

The County seat and largest city in Weld County is the City of Greeley, located within an hour's drive of the majestic Rocky Mountains and six major municipalities including Denver, and home to the University of Northern Colorado.

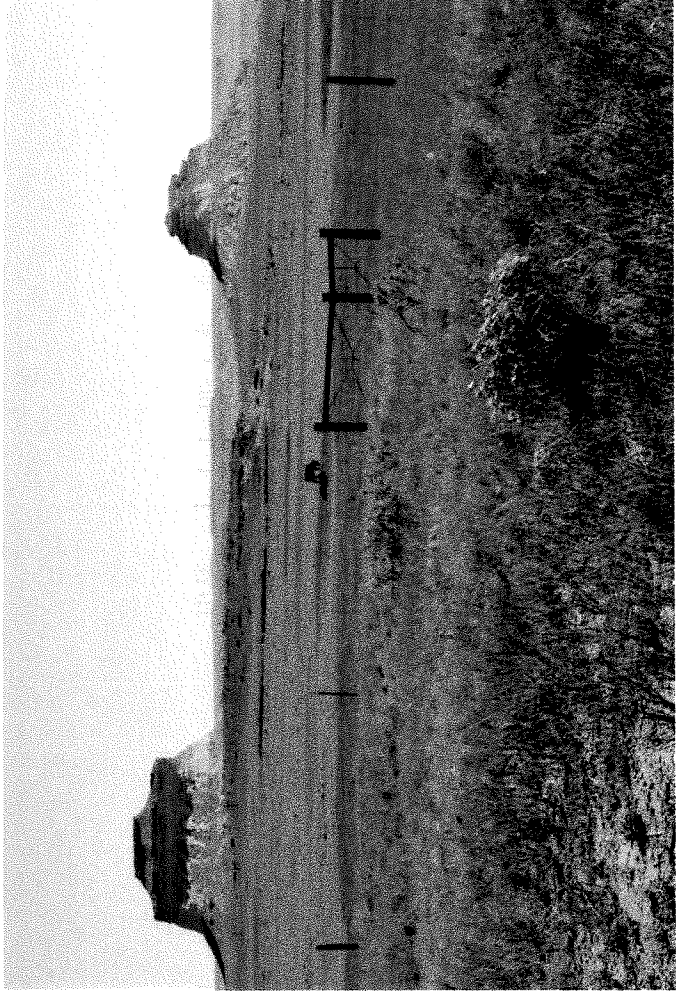


Photo: Jennifer Finch

Acreege & Climate

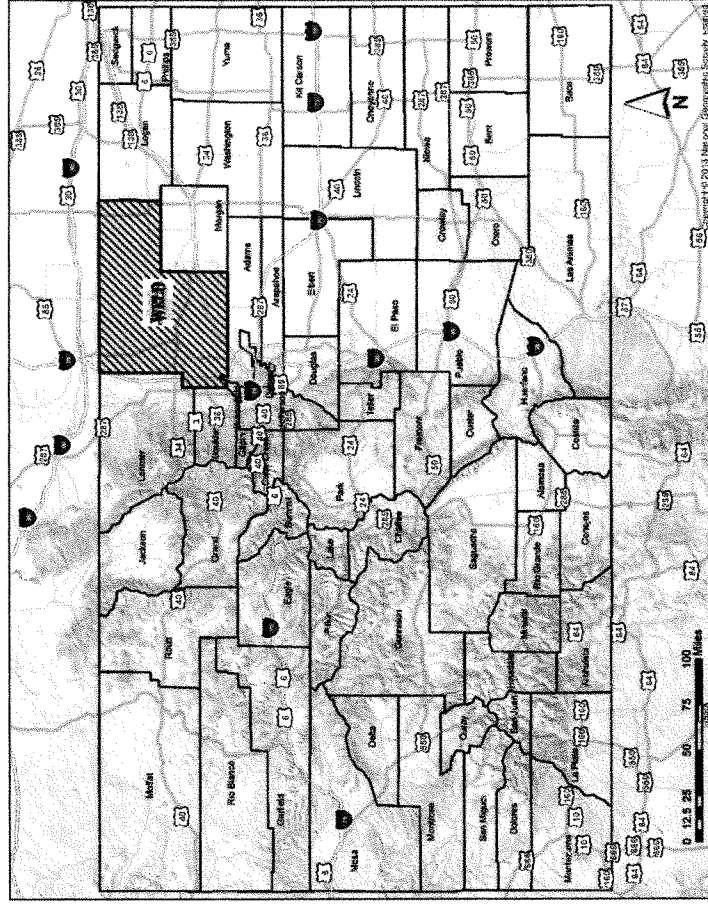
Municipal Boundaries in Weld County

Town	2021	2022	2023
Unincorporated Weld County	2,412,041	2,410,753	2,406,635
Ault	1,101	1,101	1,101
Berthoud*	3,790	3,790	3,790
Brighton*	1,559	1,559	1,559
Dacono	5,639	5,641	5,641
Eaton	2,018	2,018	2,019
Erie*	9,480	9,480	9,872
Evans	6,758	7,041	7,041
Firestone	9,179	9,327	9,331
Fort Lupton	8,346	8,370	8,552
Frederick	9,804	9,804	9,804
Garden City	73	73	73
Gilcrest	518	518	518
Greeley	31,665	31,655	32,111
Grover	382	382	382
Hudson	3,840	3,840	3,840
Johnstown*	5,947	6,313	6,372
Keenesburg	5,912	5,972	5,982
Kersey	1,447	1,447	1,526
LaSalle	630	630	633
Lochbuie	2,234	2,234	2,234
Longmont*	3,589	3,728	3,728
Mead	9,716	9,717	10,002
Milliken	8,209	8,368	8,368
New Raymer	502	502	502
Northglenn*	624	624	624
Nunn	2,536	2,536	2,536
Pierce	1,176	1,178	1,178
Platteville	1,999	1,999	2,153
Severance	5,856	5,873	8,348
Thornton*	8	8	8
Timnath*	657	657	659
Windsor*	13,487	13,575	13,591

* Multi-County Places (acres within Weld County only)
 Numbers include road right-of-way.

Average Temperature **Average Annual Precipitation** **First & Last Average Frost** **Average Growing Season**
 July: 76.5°F 14.94" May 6 143 days
 January: 31.2°F October 8

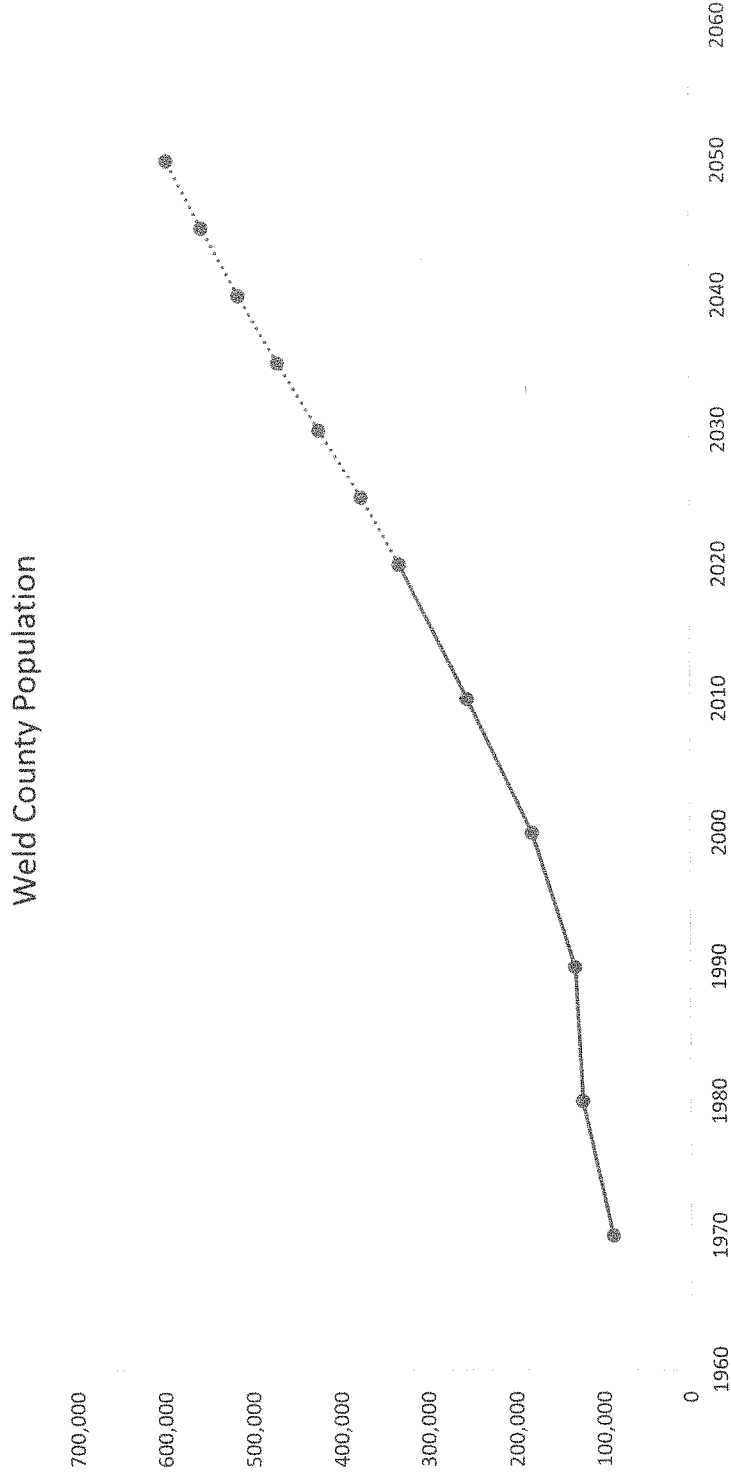
(Source: NOAA/NWS for Greeley, CO)



County Population Overview

The US Census Bureau estimates 359,442 people lived in Weld County as of July 1, 2023, which represents 6% of the total state population of 5,877,610. Among the 64 counties in Colorado, Weld County ranks eighth in total population. Between 2010 and 2020, the County population grew by over 30%, the second fastest growing county in the state by percentage, and an average annual increase of 3%. The state as a whole grew by 14.8% over the decade. The population of Weld County increased by 76,129, the fifth fastest growing county by numbers. For the population under the age of 18, Weld County ranks seventh and was the fastest growing county by far both in numbers and by percentage for the decade.

In 2023, the State Demography Office again revised its projections for future population growth downward. Weld County's population in 2050 is now projected to be 597,004, down from nearly 710,000 in previous projections.



Weld County Population, Births, Deaths, and Migration

Year	Population	Births Minus Deaths	Net Migration	Total Change	% Change
1970	90,033				
1980	123,564	10,924	22,607	33,531	37.2%
1990	131,981	14,094	-5,677	8,417	6.8%
2000	183,074	14,832	36,261	51,093	38.7%
2010	254,230	25,299	45,857	71,156	38.9%
2020	331,282	23,754	53,200	76,954	30.3%
2021	339,865	2,166	6,276	8,442	2.6%
2022	350,175	2,015	8,326	10,341	3.0%
2023	359,530	2,551	6,804	9,355	2.7%

(Source: State Demography Office)

Weld County Projected Population

Year	Population	Average Annual %
2025	374,917	2.6%
2030	423,208	2.6%
2035	470,249	2.2%
2040	514,801	1.9%
2045	556,812	1.6%
2050	597,004	1.4%

(Source: State Demography Office, prepared October, 2023)

Population Characteristics: 2020 Census

Under 18	87,148	26.5%	3,602,251	21.9%
2018+	241,833	73.5%	744,581	78.1%

(Source: State Demography Office)

Weld County was the fastest growing county in Colorado between 2010 and 2020 for the population under 18. The number of children in Weld County increased by 23.8% (16,747) compared to just 3.1% (38,529) for the state as a whole. Weld County's increase represents 43.5% of the state's total increase in children over the decade.

Weld County Municipal Populations

	1980	1990	2000	2010	2020	2023**
Ault	1,056	1,107	1,432	1,525	1,885	2,791
Berthoud*	-	-	16	63	261	257
Brighton*	-	17	154	347	365	421
Dacono	2,321	2,228	3,015	4,181	6,344	6,605
Eaton	1,932	1,959	2,690	4,384	5,848	5,789
Erie	1,231	1,244	2,009	9,882	17,621	20,605
Evans	5,063	5,877	9,514	18,651	22,216	22,923
Firestone	1,204	1,358	1,908	10,249	16,666	18,561
Fort Lupton	4,251	5,159	6,787	7,454	7,980	9,197
Frederick	855	988	2,467	8,735	14,702	17,260
Garden City	123	199	357	235	254	254
Gilcrest	1,025	1,084	1,162	1,038	1,028	1,017
Greeley	53,006	60,454	76,930	93,262	109,141	112,462
Grover	158	135	153	138	157	155
Hudson	698	918	1,565	2,370	1,652	1,632
Johnstown*	1,535	1,579	3,827	9,445	12,576	13,184
Keenesburg	541	570	855	1,131	1,251	2,068
Kersey	913	908	1,389	1,459	1,494	1,478
LaSalle	1,929	1,803	1,849	1,967	2,357	2,324
Lochbuie	895	1,168	2,049	4,806	8,189	8,319
Longmont*	-	-	24	33	1,297	1,279
Mead	356	456	2,017	3,440	4,777	6,561
Milliken	1,506	1,605	2,888	5,634	8,455	9,213
Northglenn*	-	-	12	12	25	25
Nunn	295	324	471	418	504	530
Pierce	878	823	884	837	1,096	1,091
Platteville	1,662	1,515	2,370	2,499	2,952	2,912
Raymer	80	98	91	96	110	108
Severance	102	106	597	3,204	8,032	11,111
Thornton*	-	-	-	-	-	-
Timnath*	-	-	-	-	5	5
Windsor*	4,277	5,062	9,612	14,171	25,479	31,668
Uninc. Weld	35,542	33,001	41,832	42,564	46,563	47,725
All Weld County	123,438	131,821	180,936	254,230	331,282	359,530
% uninc.	28.8%	25.0%	23.1%	16.7%	14.1%	13.3%

* Multi-County Places (Figures above are within Weld County only.)

** Draft estimates

(Source: State Demography Office)

Economic Overview

Data from the 2022 USDA Agricultural Census began coming out in 2024. Weld County is still the most agriculturally productive county in the state, but the number of farms, acres of cropland, and irrigated acres dropped from 2017, as shown below. Weld County's total commodity sales were over \$2.38 billion in 2022, but note that the dollar figures are not adjusted for inflation.

Agricultural Production

	1997	2002	2007	2012	2017	2022	Change 2017 to 2022
# of Weld farms/ranches	3,142	3,121	3,921	3,525	4,062	3,881	-4%
# of Colo. farms/ranches	30,197	31,369	37,054	36,180	38,893	36,056	-7%
Weld % of state	10.4%	9.9%	10.6%	9.7%	10.4%	10.7%	
Weld acres of cropland	883,623	878,101	987,892	850,179	922,979	875,694	-5%
Colo. acres of cropland	10,787,080	11,530,700	11,483,936	10,649,747	11,056,259	10,479,125	-5%
Weld % of state	8.2%	7.6%	8.6%	8.0%	8.3%	8.3%	
Weld irrigated acres	397,752	326,494	327,836	299,892	323,436	274,813	-15%
Colo. irrigated acres	3,374,233	2,590,654	2,867,957	2,516,785	2,761,173	2,384,705	-14%
Weld % of state	11.8%	12.6%	11.4%	11.9%	11.7%	11.5%	
Weld commodities total	\$1.3b	\$1.1b	\$1.5b	\$1.9b	\$2.1b	\$2.4b	16%
Colo. commodities total	\$4.6b	\$4.5b	\$6.1b	\$7.8b	\$7.5b	\$9.2b	23%
Weld % of state	28.3%	24.9%	25.4%	23.9%	27.3%	25.9%	

(Source: USDA Agricultural Census, figures not adjusted for inflation)

Economic Development

Weld County has identified four internal driving sources for future economic growth:

I. Energy Resources

- A. Mining
- B. Wind- and solar-powered energy
- C. Greenhouse emission innovations
- D. Biogas
- E. Water recycling (oil and gas)

II. Open Entrepreneurship Marketplace

- A. No County sale tax
- B. Hispanic businesses
- C. Telecommunications/fiber optics
- D. Professional and business services
- E. The self-employed
- F. Unmet market opportunities
- G. Incubators (firms, universities, and linking networks)
- H. Home-based businesses

III. Growth

- A. High growth rate
- B. Healthy, growing, young labor force
- C. Attractiveness for retirees

IV. Location

- A. 1 of 12 counties along the "Front Range Megapolitan," the confluence of two or more major metro areas.
- B. Proximity to Denver International Airport, Rocky Mountains, and Denver metro area
- C. Two interstates (I-25 and I-76), two US highways (US 85, US 34), state highways, and County Road 49 (considered a county highway) to facilitate growth and transportation
- D. Northern Front Range cities, the University of Northern Colorado, and Aims Community College

Per Capita Personal Income

Year	Weld County		
	Weld County	Colorado	Change
2010	\$33,509	\$40,689	
2011	\$35,565	\$43,575	7.03%
2012	\$37,350	\$45,669	4.52%
2013	\$39,194	\$47,311	3.89%
2014	\$42,833	\$50,711	7.16%
2015	\$44,485	\$52,254	3.04%
2016	\$44,072	\$52,475	0.10%
2017	\$44,764	\$55,604	5.46%
2018	\$48,129	\$58,896	5.80%
2019	\$50,117	\$61,157	6.28%
2020	\$52,354	\$65,358	5.21%
2021	\$56,553	\$70,706	8.18%
2022	\$58,860	\$75,722	7.09%

(Source: Bureau of Economic Analysis, US Department of Commerce)

Unemployment Rates

Year	Weld County		Colorado
	Weld County	Change	
2010	9.2%	8.7%	
2011	8.6%	8.4%	
2012	7.8%	7.9%	
2013	6.6%	6.9%	
2014	4.5%	5.0%	
2015	3.8%	3.9%	
2016	3.3%	3.3%	
2017	2.5%	2.6%	
2018	2.8%	3.0%	
2019	2.4%	2.6%	
2020	6.6%	6.9%	
2021	5.7%	5.4%	
2022	3.2%	3.0%	
2023	3.3%	3.2%	

(Source: Bureau of Labor Statistics, US Department of Labor)

Weld County Employment by Sector

Sector	2010	2020	Change	2021	2022	Change
Total Jobs	104,982	138,527	32.0%	140,531	146,584	4.3%
Agriculture	6,006	6,187	3.0%	6,232	5,896	-5.4%
Mining	3,339	5,918	77.2%	4,889	5,523	13.0%
Utilities	266	451	69.5%	466	492	5.6%
Construction	9,169	15,010	63.7%	15,022	15,785	5.1%
Manufacturing	10,614	14,291	34.6%	13,658	13,846	1.4%
Wholesale trade	3,547	4,718	33.0%	4,758	4,827	1.5%
Retail Trade	9,410	12,879	36.9%	13,212	13,692	3.6%
Transportation & warehousing	3,132	5,741	83.3%	6,087	6,511	7.0%
Information	1,081	811	-25.0%	793	754	-4.9%
Finance activities	3,952	3,806	-3.7%	3,751	3,876	3.3%
Real estate	2,997	4,177	39.4%	4,259	4,264	0.1%
Professional, scientific/technical services	4,167	6,558	57.4%	6,939	7,307	5.3%
Management of companies, enterprises	1,112	1,976	77.7%	1,876	1,867	-0.5%
Administrative support & waste management	5,289	7,788	47.2%	7,972	8,355	4.8%
Education	908	1,896	108.8%	1,994	2,404	20.6%
Health Services	9,290	11,061	19.1%	11,494	11,716	1.9%
Arts, entertainment & recreation	1,526	1,907	25.0%	2,208	2,259	2.3%
Accommodation & food services	6,011	8,094	34.7%	8,814	9,700	10.1%
Other services, except public administration	6,627	7,419	12.0%	8,176	8,171	-0.1%
Government	16,539	17,839	7.9%	17,931	19,339	7.9%

(Source: State Demography Office)

Transportation Overview

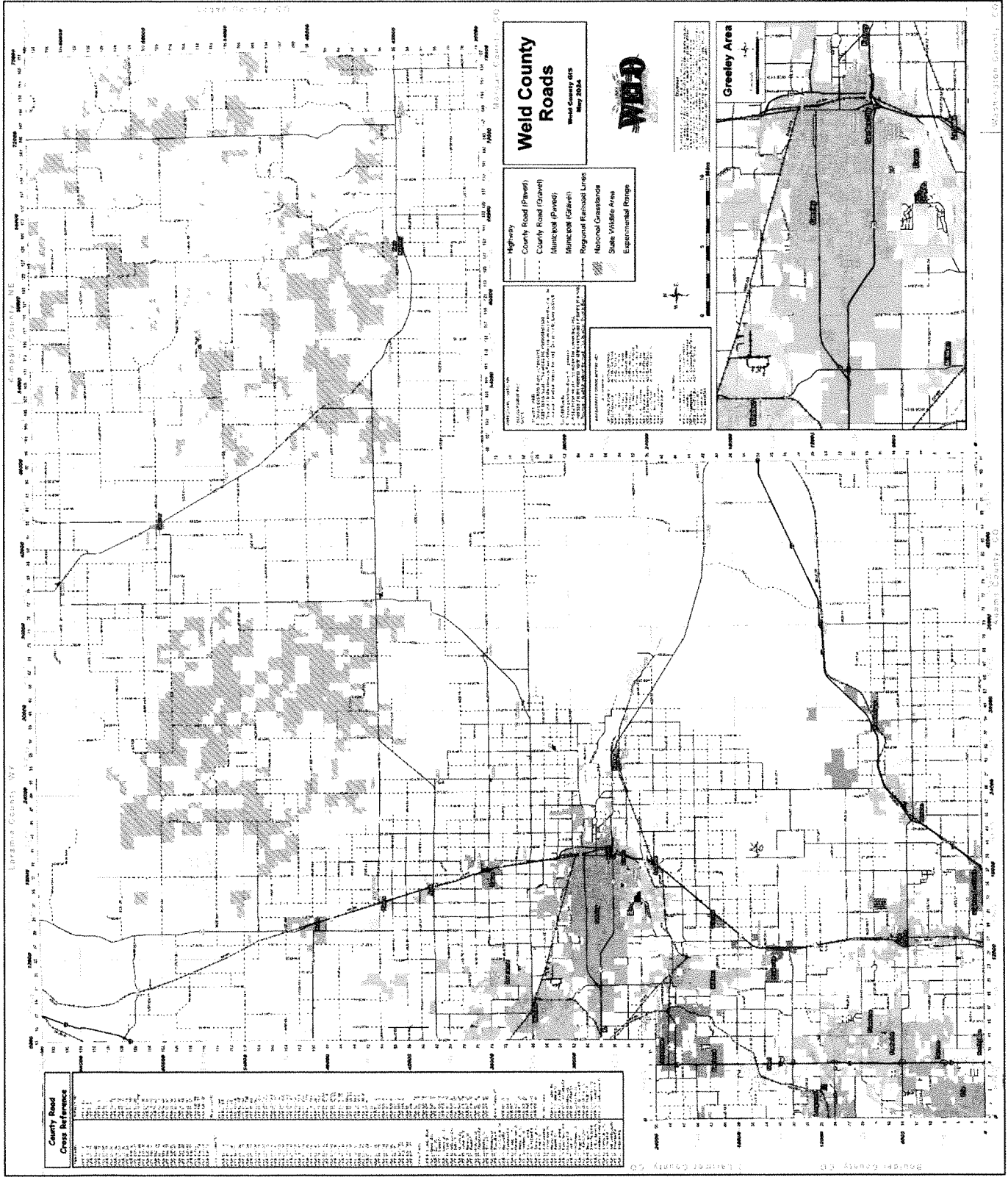
Interstate I-25, US 85, and Weld County Road 49 provide for north/south transit up and down the Front Range corridor. US 34 and State Highways 14, 52, and 392 facilitate east/west transit. I-76 provides for broader east/west travel. The highway and road system in the County is managed by the Colorado Department of Transportation, the County, and the 32 municipalities, with the County maintaining 2,906 miles of publicly maintained county roads. The total amount of County-maintained roads decreases as roads are annexed to municipalities.

County Roads	2020 Miles	2021 Miles	Change	2022 Miles	Change	2023	Change
Paved	748	747	-0.13%	752	0.01%	756	0.01%
Gravel	2,158	2,148	-0.46%	2,134	-0.01%	2,120	-0.01%
Total County Maintained	2,906	2,895	-0.38%	2,886	0%	2,876	0%

In addition, there are currently 471 miles of State Highway system roads maintained by CDOT within Weld County (including incorporated areas).

State Highway system roads	Miles
Interstate	65
Arterial Freeway/Expressway	57
Principal Arterial	225
Minor Arterial	57
Major Collector	64
Minor Collector	3
Total	471

(Source: Weld County GIS)



Real Estate & Housing

Weld County median prices

Detached houses:

Year	Median	Change
2018	\$342,000	
2019	\$358,000	5%
2020	\$385,000	8%
2021	\$445,000	16%
2022	\$494,500	11%
2023	\$480,000	-3%

Townhouses or other attached units:

Year	Median	Change
2018	\$248,900	
2019	\$264,450	6%
2020	\$285,000	8%
2021	\$320,900	13%
2022	\$351,000	9%
2023	\$367,000	5%

2-unit structures:

Year	Median	Change
2018	\$250,000	
2019	\$270,000	8%
2020	\$325,515	21%
2021	\$365,000	12%
2022	\$399,000	9%
2023	\$375,000	-6%

3-to-4-unit structures:

Year	Median	Change
2018	\$353,000	
2019	\$420,000	19%
2020	\$541,000	29%
2021	\$515,000	-5%
2022	\$497,500	-3%
2023	\$492,500	-1%

5-or-more-unit structures*:

Year	Median	Change
2018	\$665,000	
2019	\$765,000	15%
2020	\$945,000	24%
2021	\$1,100,000	16%
2022	\$1,525,000	39%
2023	\$855,500	-44%

*The average number of units per building can vary widely each year.

Manufactured homes:

Year	Median	Change
2018	\$185,000	
2019	\$205,000	11%
2020	\$290,000	41%
2021	\$315,000	9%
2022	\$360,000	14%
2023	\$380,000	6%

(Source: Sears Real Estate)

Single-Family Home Sales

East/North: Nunn, Grover, New Raymer

Year	# Sold	Change in #	Median Price	Change in Price
2018	29	21%	\$300,000	+3%
2019	33	14%	\$305,000	+2%
2020	34	3%	\$357,750	+17%
2021	45	32%	\$450,000	+26%
2022	31	-31%	\$536,000	+19%
2023	42	35%	\$509,949	-5%

Central/West: Ault, Eaton, Evans, Greeley, Gilcrest, LaSalle, Johnstown, Milliken, Kersey, Pierce, Severance, Windsor

Year	# Sold	Change in #	Median Price	Change in Price
2018	4,047	14%	\$330,000	+8%
2019	4,209	4%	\$344,364	+4%
2020	4,831	15%	\$367,000	+7%
2021	5,133	6%	\$430,000	+17%
2022	3,419	-33%	\$475,000	+10%
2023	2,530	-26%	\$469,225	-1%

South: Platteville, Firestone, Frederick, Dacono, Erie, Fort Lupton, Hudson, Keenesburg

Year	# Sold	Change in #	Median Price	Change in Price
2018	1,081	-1%	\$402,900	5%
2019	1,209	12%	\$415,000	3%
2020	2,500	107%	\$445,000	7%
2021	2,219	-11%	\$515,000	16%
2022	1,639	-26%	\$600,000	17%
2023	1,313	-20%	\$615,000	3%

Housing & Households

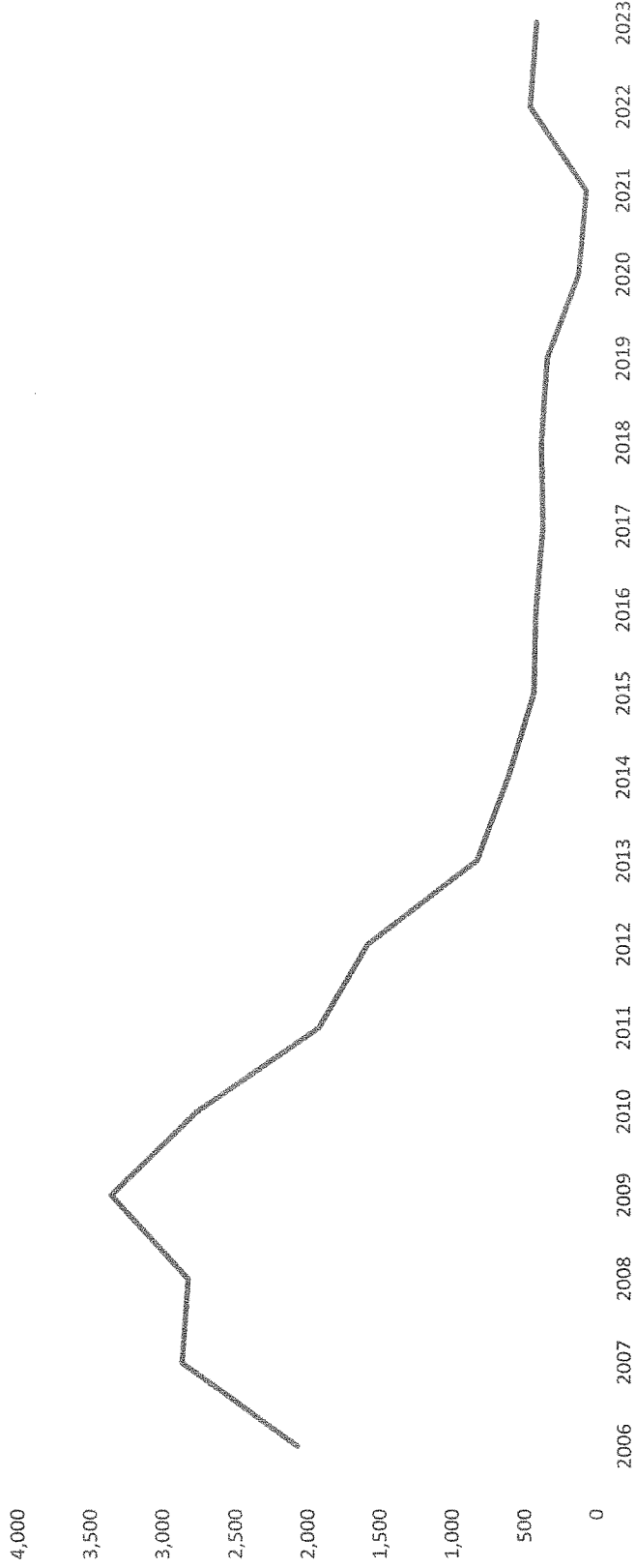
Weld County Housing Units	2000	2010	2017	2018	2019	2020	2021	2022	2023
Total Housing Units	66,194	96,281	110,496	112,857	116,710	120,897	125,337	129,564	133,398
Occupied Housing Units	63,247	89,349	108,073	110,000	114,605	114,878	118,584	122,375	125,858
Vacant Housing Units	2,947	6,932	2,423	1,857	2,105	6,019	6,753	7,189	7,540
Vacancy Rate (%)	4.5	7.2	2.2	1.6	1.8	5	5.4	5.6	5.7

(Source: Colorado Demography Office)

Foreclosures in Weld County

Year	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
Foreclosures	2,073	2,869	2,824	3,354	2,757	1,919	1,579	820	602	427	411	362	375	334	116	61	453	407

(Source: Weld County Public Trustee)



Development Trends (Unincorporated Area)

Planning Cases by Year

	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
Planning Cases	562	573	593	783	887	842	560	438	375	466
Planning Commission Hearing Cases	98	94	80	74	118	106	46	41	61	60
BOA Hearing Cases	0	2	2	2	3	2	5	10	3	3
Pre-application Meetings	308	267	270	282	334	300	225	330	276	262
Walk-in's		1,231	1,302	1,315	1,549	1,618	1,167	1,014	940	808

Number of Lots Created through Family Farm Divisions by Year

	2021	2022	2023
Number of Lots	42	46	86

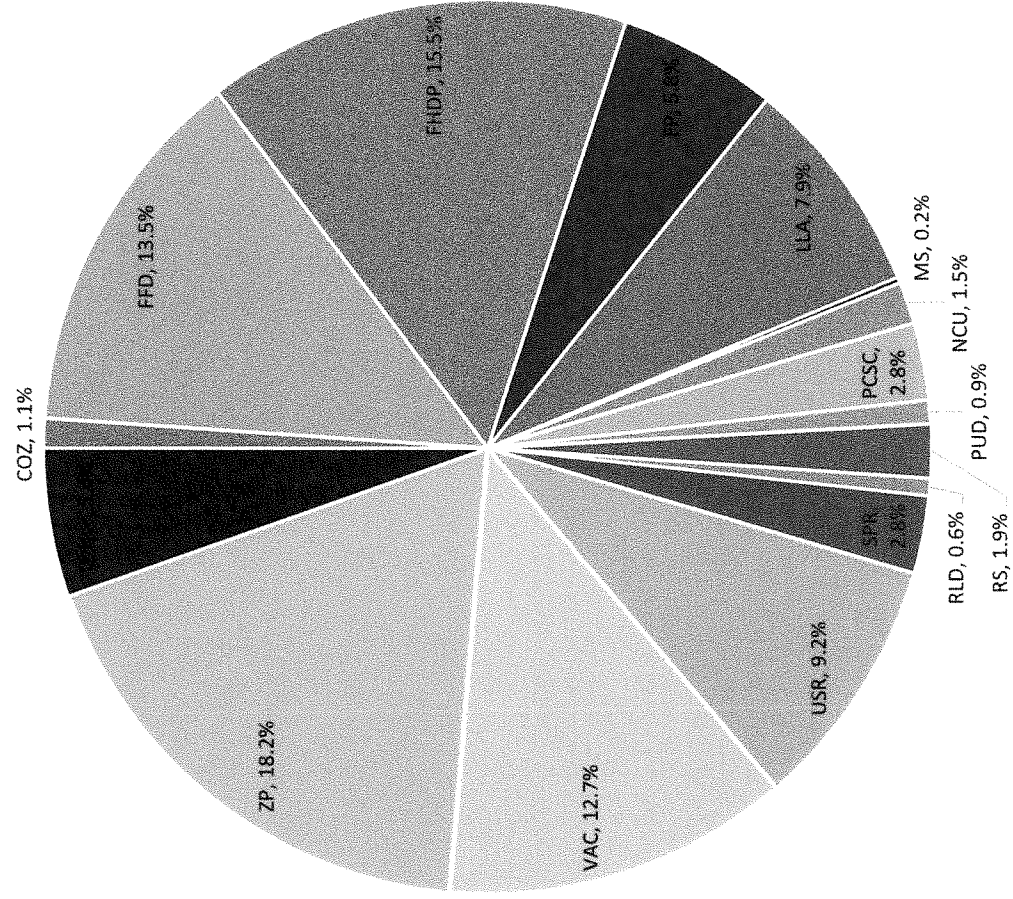
Number of Lots Created through Subdivisions by Year (excluding outlots)

	2014	2015	2016	2017	2018	2019	2020	2021	2022*	2023*
Number of Lots	28	30	14	15	62	22	13	0	6	0

*Includes rural Land Divisions (Ag zoned).

2023 Case Types

2023 Case Types	
Change of Zone	5
Family Farm Division	63
Flood Hazard Development Permit	72
Flood Permit	27
Lot Line Adjustment	37
Minor Subdivision (Sketch or Final)	1
Nonconforming Use	7
Probable Cause-Show Cause	13
PUD (Sketch, Zoning, or Final)	4
Resubdivision	9
Rural Land Division (Sketch or Final)	3
Site Plan Review	13
Use by Special Review	43
Vacation	59
Zoning Permits	85
Other	25
Total	466



Number of Building Permits by Type by Year

	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
New Single-Family Homes	160	169	140	143	170	157	125	158	124	105
Manufactured Homes	130	198	160	174	190	155	139	132	96	78
Oil & Gas	900	495	383	312	443	371	256	203	254	223
Ag Exempt	186	174	213	231	235	242	246	242	238	179
Other	1,298	1,283	1,329	1,398	1,492	1,394	1,550	1,530	1,451	1,274
Total	2,674	2,319	2,225	2,258	2,530	2,425	2,265	2,265	2,163	1,859
Total Valuation	\$783M	\$462M	\$298M	\$358M	\$584M	\$606M	\$233M	\$320M	\$250M	\$237M

	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
Inspections	23,052	26,328	24,467	23,474	24,063	25,733	27,498	28,082	28,369	22,789
Plan Reviews	2,153	2,045	1,895	2,118	2,363	2,242	2,060	2,125	1,967	1,793
Walk-ins		4,971	4,264	5,553	5,709	5,789	6,271	6,355	7,340	6,204

Weld County Small Business Incentive Plan (SBIP)

FUNDING OVERVIEW

0-9 employees:
 Fees between \$2,500 - \$25,000
 County max: \$20,000
 Applicant portion: \$2,500 + any amount above \$25,000

10-15 employees:
 Fees between \$2,500 - \$35,000
 County max: \$30,000
 Applicant portion: \$2,500 + any amount above \$35,000

16-35 employees:
 Fees between \$2,500 - \$45,000
 County max: \$40,000
 Applicant portion: \$2,500 + any amount above \$45,000

Example 1: \$10,000 total fees assessed and 5 employees. Applicant would pay \$2,500 and County would grant \$7,500.

Example 2: \$40,000 total fees assessed and 14 employees. Applicant would pay \$2,500+\$7,500=\$10,000 and County would grant \$30,000.

Example 3: \$80,000 total fees assessed and 25 employees. Applicant would pay \$2,500+\$7,500=\$10,000 and County would grant \$40,000.



Funds shall be distributed on a first-come first-served basis.

-All applications are confidential and at the full discretion of the Weld County Board of County Commissioners.

-Applicants must be a property owner or a tenant (with a written permission from the building owner) operating a retail, commercial or industrial business as defined and permitted under the Weld County Code.

-Applicant must be current on all County taxes prior to receiving funds.

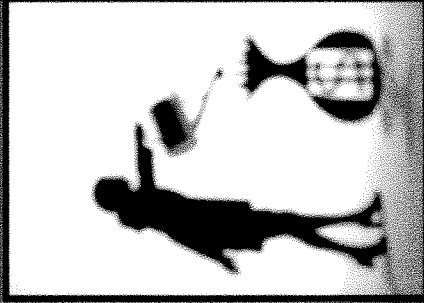
The Weld County Board of County Commissioners or its designee has sole authority to determine the eligibility of proposed business.

If you have questions or would like further information, please contact the Planning Services Director at 970-333-6100, ext 3572.

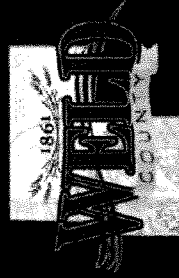
All inquiries are kept strictly confidential.



Weld County Small Business Incentive Program



**WELD COUNTY
PLANNING DEPARTMENT**



Weld County has established a Small Business Incentive Program (SBIP) which will provide eligible businesses financial assistance to offset land use, building permit, and several impact fees. The program is designed to reduce upfront capital outlay for small businesses located in unincorporated Weld County.

WHO CAN APPLY?

Any business owner or tenant located in unincorporated Weld County that meets the eligibility requirements.

WHAT ARE THE ELIGIBILITY REQUIREMENTS?

- The subject real property must be located within the County (the "Property").
- The business shall hire at least fifty (50) percent of their new workforce from Weld County. For the purpose of this application a full-time employee works a minimum of 32 hours per week. The business may have a combination of part-time employees that is the equivalent of at least one (1) full-time employee.
- The applicant must be the record owner(s) of the Property or a tenant.
- The business must have been undertaken after the date of the adoption of this policy.
- This program shall only apply to businesses with 35 or fewer employees at the time of submitting an application.

WHAT CAN BE DONE WITH THESE FUNDS?

The intent of these funds is to offer financial assistance to small businesses that want to operate in Weld County. The financial assistance helps reduce the business's land use application fees, building permit fees, and impact fees. Fees incurred by the business that are not eligible for funds include consultant and attorney fees, on-site and off-site bonding, collateral requirements, etc.

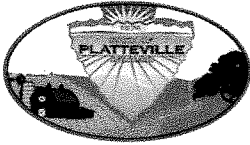
Total Funds Awarded (since 2014)

\$401,115

Resources:

U.S. Census Bureau
Bureau of Labor Statistics
Bureau of Economic Analysis
Colorado Demography Office
Colorado Department of Local Affairs
Colorado Department of Labor and Employment
Weld County Planning Services
Weld County GIS
Weld County Public Works
Weld County Oil and Gas Energy Department
National Center for Veterans Analysis and Statistics
Upstate Colorado Economic Development
Sears Real Estate
U.S. Department of Agriculture
National Oceanic and Atmospheric Administration/National Weather Service

Town of Platteville, Colorado
400 Grand Avenue, 80651



Agenda Item Cover Sheet

MEETING DATE: July 16, 2024
AGENDA ITEM: Mayor Report
DEPARTMENT: Executive / Legislative
PRESENTED BY: Mike Cowper, Mayor

SUMMARY

Mayor Cowper will update the Board with any/all pertinent information currently at his disposal and will seek comments, questions, and concerns of the Board Members.

ATTACHMENTS

None